



# Body Corporate-Solar Panel / Roof Exterior-Requirements & Conditions Report

Inspection Date: 5 Aug 2020

Property Address: South Morang, Vic-Area



# Contents

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Inspection details	<b>3</b>
General description of property	<b>4</b>
Accessibility	<b>6</b>
Summary	<b>7</b>
Significant items	<b>8</b>
Additional comments	<b>8</b>
Conclusion	<b>20</b>
Terms on which this report was prepared	<b>22</b>

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

# Inspection details

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Property Address: South Morang, Vic-Area

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Date: 5 Aug 2020

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Report Type: Building Inspection Report - Basic

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## Client

Name: Private

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Email Address:

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Phone Number: Private

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## Consultant

Name: Les Camilleri

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Email Address: les@masterpropertyinspections.com.au

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Licence / Registration Number: A25361

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Company Name: Master Property Inspections

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Company Address: Victoria

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Company Phone Number: 0411 807766

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## General description of property

Building Type:	Commercial / Industrial Property
Number of Storeys:	Single storey
Siting of the building:	Not Applicable
Gradient:	Not Applicable
Site drainage:	Not Applicable
Access:	Not Applicable
Strata or company title properties:	No
Orientation of the property:	The facade of the building faces west Note. For the purpose of this report the façade of the building contains the main entrance door.
Weather conditions:	Dry

## Primary method of construction

Main building – floor construction:	Concrete
Main building – wall construction:	Concrete Panels
Main building – roof construction:	Finished with sheet metal roofing, Steel framed, Flat roof
Other timber building elements:	Not Applicable
Other building elements:	Not Applicable

## Special conditions or instructions

Special requirements, requests or instructions given by the client or the client's representative -

There are no special conditions or instructions

# Accessibility

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## Areas Inspected

The inspection covered the Readily Accessible Areas of the property. Please note obstructions and limitations to accessible areas for inspection are to be expected in any inspection.

- Building exterior
- Roof exterior

The inspection does not include areas which are inaccessible due to obstructions, or where access cannot be gained due to unsafe conditions.

## Obstructions and Limitations

The following obstructions may conceal defects:

- Earth abutting the building
- Not Applicable

Obstructions increase the risk of undetected defects, please see the overall risk rating for undetected defects.

## Inaccessible Areas

The following areas were inaccessible:

- Not Applicable

Any areas which are inaccessible at the time of inspection present a high risk for undetected building defects. The client is strongly advised to make arrangements to access inaccessible areas urgently.

## Undetected defect risk assessment

**MODERATE - HIGH**

# Summary

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SUMMARY INFORMATION: The summary below is used to give a brief overview of observations made in each inspection area. The items listed in the summary are noted in detail under the applicable sub headings within the body of the report. The summary is NEVER to be relied upon as a comprehensive report and the client MUST read the entire report and not rely solely on this summary. If there is a discrepancy between the information provided in this summary and that contained within the body of the Report, the information in the body of the Report shall override this summary. (See definitions & information below the summary to help understand the report)

Evidence of Safety Hazards	Not Found
Evidence of Major Defects	Not Found
Evidence of Minor Defects	Not Found
Evidence of Non Compliant items	Not Found

## Additional specialist inspections

It is Strongly Recommended that the following Inspections and Reports be obtained prior to any decision to purchase the Property and/or before settlement. Obtaining these reports will better equip the purchaser to make an informed decision.

- As identified in the summary and the defect statements in this report.

## Significant items

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### Safety Hazard

No evidence was found.

### Major Defect

No evidence was found.

### Minor Defect

No evidence was found.

### Non Compliant

No evidence was found.

## Additional comments

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There are no additional comments



# For Your Information

## For Your Information 5.01

Location: For Your Information

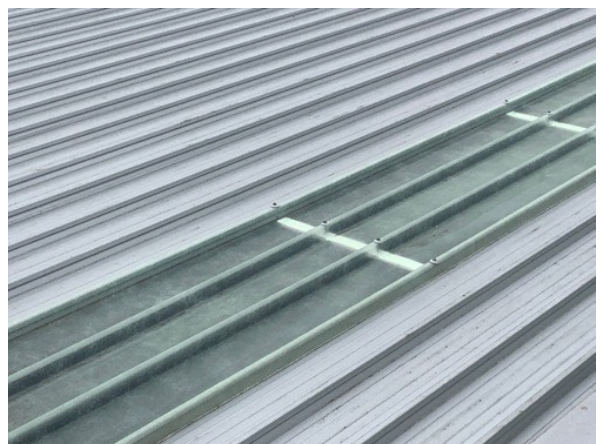
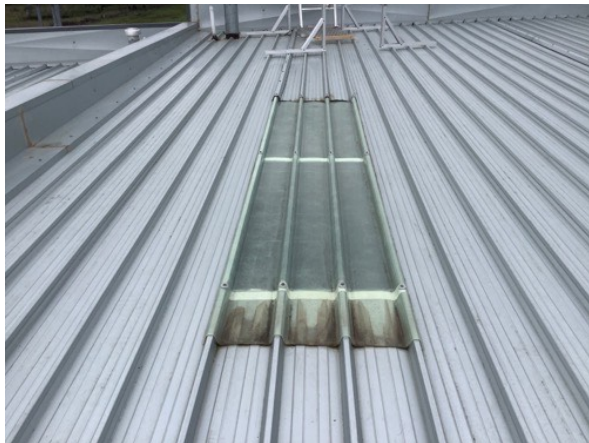
Finding: General Site Photos  
General site photos and other areas of interest are provided for your general reference.



## For Your Information 5.02

Location: For Your Information

Finding: General photos of roof area  
The photos are a guide to indicate that the exterior roof area's are in good condition at the time of the inspection.



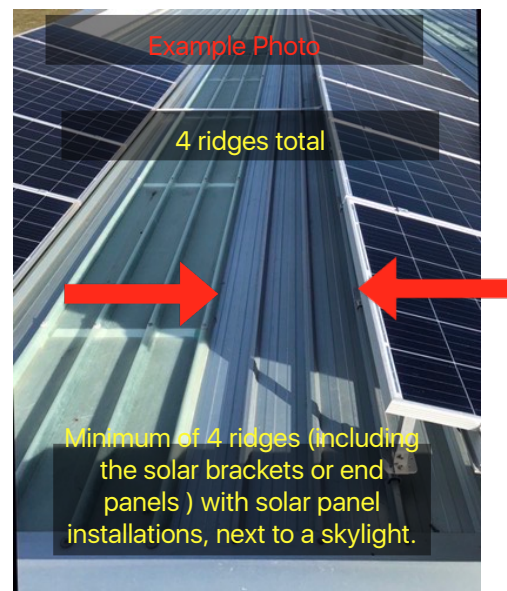




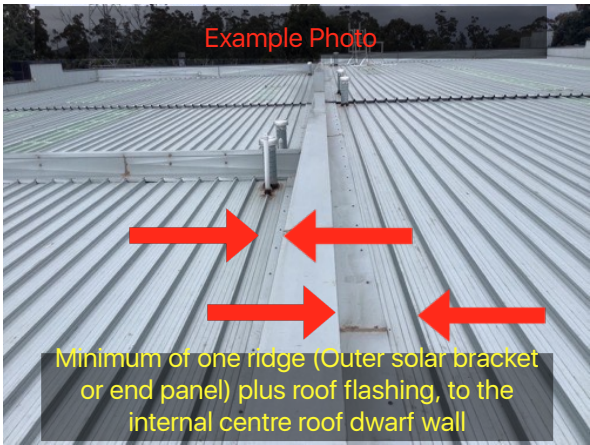
## For Your Information 5.03

Location: For Your Information

Finding: Installation - Minimum Spacings Of Solar Panels & Brackets.  
The minimum spacings of the solar panels and solar panel brackets are as stated in the photos to show & indicate the minimum requirements for safety reasons.  
Any alterations to the minimum requirements of spacings MUST be requested to the body corporate in writing. However the minimum spacings are for the safety for the solar contractors and future persons required to walked past the solar panel installations.







## For Your Information 5.04

Location: For Your Information

Finding: Requirements, Conditions & Specifications Report for Solar Panel Installation.  
Site address: 33 Danaher Drive South Morang

Body Corporate  
PS807747U  
C/. Melcorp Strata Pty Ltd  
477 Swanston Street Melbourne Vic 3000

Re: Conditions & Specifications Report for Solar Panel Installation

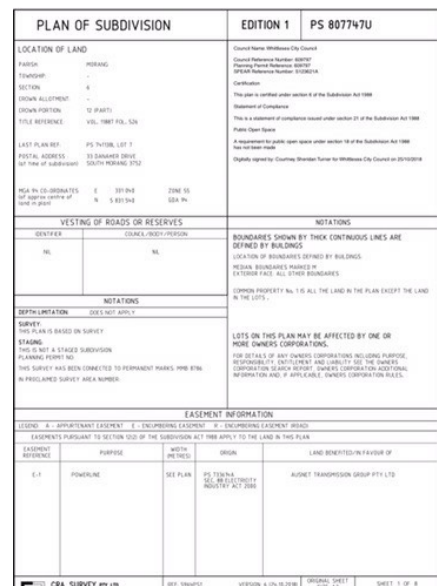
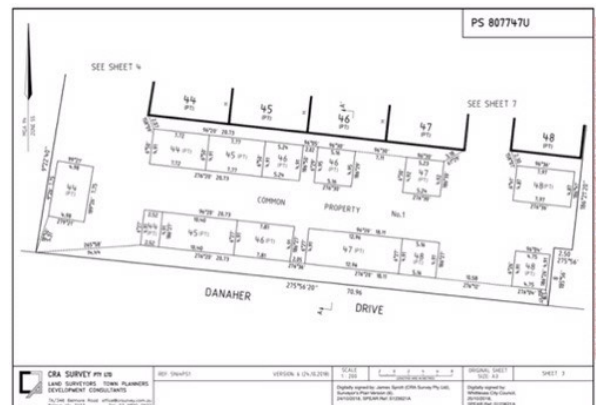
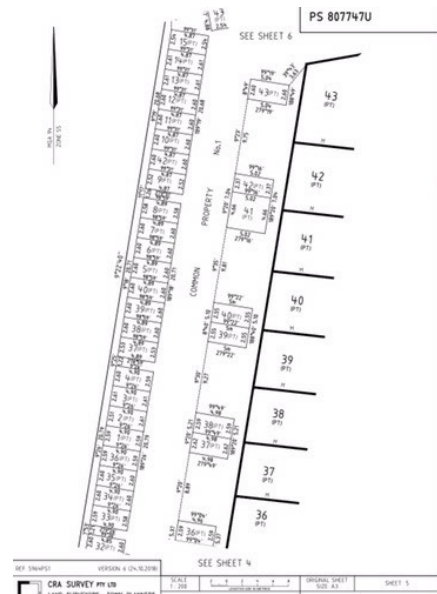
**IMPORTANT :**

This report DOES NOT in any way replace the standard legal requirements by the contractors, in relation to the OH&S Standards & Requirements or any Standards & Requirements in relation to the professional works and protocols that are required in the industry for solar installations.

All the standard safety requirements for minimum distances for solar installations and safety standards for installation on exterior roofs and other standard requirements for solar installations ALL OVERRIDE THIS REPORT.

This report is the minimum requirements set out by Master Property Inspections & Melcorp Strata Pty Ltd to make sure that the works and installations have some minimum requirements that DO NOT override the safety standards for the industry and to insist that the works are all to be completed to a Tradesmen's Like Finish.

SEE SHEET 3





## For Your Information 5.06

Location: For Your Information

Finding: Determination of the load (weight) - Prior to commencement of works  
It is up to the Contractor in charge of the solar installation to follow all Australian Standards for safety and installation guides prior, during and after completion of works.

It is solely the responsibility of the contractor to install the solar panels and frame brackets as per Australian Standards and in addition take into consideration the location of the fixing points of each solar panel bracket, the load (weight) of each solar panel separately and also take into consideration the total installation load (weight) and that the total installation load (weight) is not over the weight limit of the load-bearing of the roof.

As the solar installation contractor must be licensed, it is to assume that the solar installation contractor is aware of determining factors of load (weight).

If for any reason the solar installation contractor is unsure and/or not educated on determining load-bearing (weight) for commercial roof installations, Then the solar installation contractor, must not proceed and contact the body corporate immediately.

It is important that the load-bearing (weight) for the roof area to be determined and sorted prior to any works beginning, as the responsibility and warranty of the installation will all be bearing on the solar installation contractor.

## For Your Information 5.07

Location: Prior To Any Works On Site & Requirements / Papers Needed To Begin Works.

Finding: Prior To Any Works On Site & Requirements / Papers Needed To Begin Works.  
All solar panel companies / contractors and associated persons MUST HAVE all the relevant licenses, certifications & insurances that the industry requires to perform the works and gain access to the roof area & provide copies to the body corporate.

Prior to any contractors and/or associated persons in relation to quotations, measurements and any and all other related matters to gain access to the roof space.

A/

Contact the body corporate in writing and supply all relevant legal licenses, certifications and/or any other safety licenses and papers that are required in the industry to gain access to roof areas.

B/

Prior to any works beginning the body corporate will require their own persons to take photos of the existing condition of the exterior roof from the ladder at the top of the roof & from the ladder at the top of the roof to 30 mtrs past the proposed location of where the installed solar panels will be installed. All expenses related to the conditions report are to be inherited by the resident.

Or

The body corporate at their discretion may require the responsible persons for the solar installation take all the required photos as detailed above. AGAIN this is solely at the discretion of the body corporate and all expenses related to the conditions report are to be inherited by the resident.

C/

Once the resident has nominated a company to install the solar panels, it is the residents responsibility to provide the body corporate all the plans for the solar panel locations and any other relevant paperwork.

In addition: Determination of the load (weight) - Prior to commencement of works is to be supplied to the body corporate as well. This is further detailed in this report.

D/

Upon approval by the body corporate in writing, ONLY THEN may the resident engage the contractors to begin works.

E/

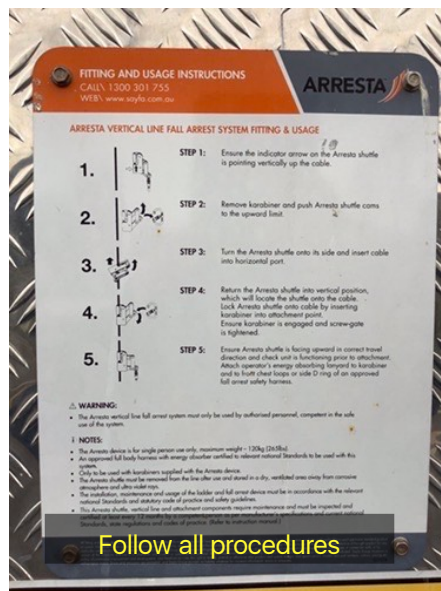
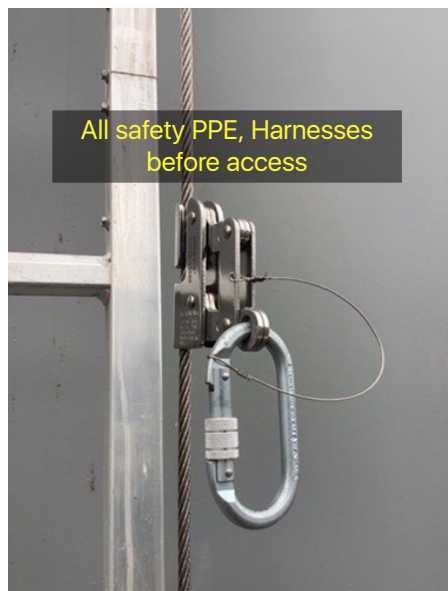
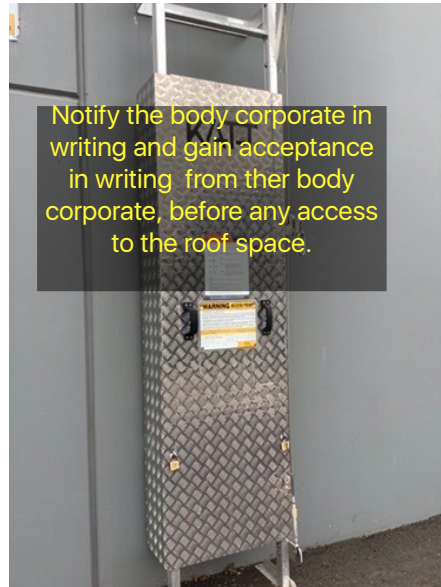
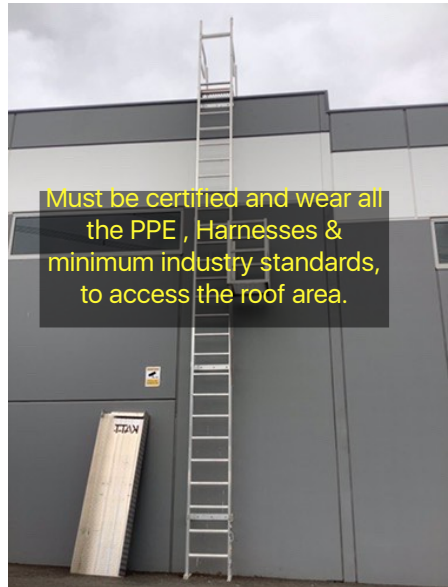
On completion, the body corporate will require their own persons to take photos of the existing condition of the exterior roof from the ladder at the top of the roof to 30 mtrs past the location of the installed solar panels. All expenses related to the conditions report are to be inherited by the resident.

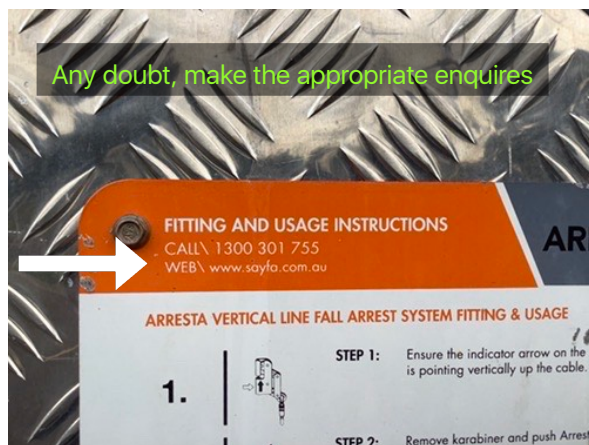
Or

The body corporate at their discretion may require the responsible persons for the solar installation to take all the required photos as detailed above. All expenses related to the conditions report are to be inherited by the resident.

F/

Upon completion the resident is to supply a copy of all the relevant completion papers from the installer and the certificates for the solar installation and the electrical works to show that all the works comply with the current Australian Standards for solar installation and solar electrical wiring for all works to the exterior roof space and all internal works to the property.





## Conclusion

### Building consultant's summary

**Site address: The Hive, 33 Danaher Drive South Morang, Vic.**

**This report attached is the guidelines required for ALL RESIDENTS to initiate Solar Panels and/or Solar HWS on the communal roof areas.**

### Conditions & Specifications Report for Solar Panel Installations

#### Body Corporate

**Melcorp Strata Pty Ltd**  
**477 Swanston Street, Melbourne, Vic 3000**

#### IMPORTANT :

**This report DOES NOT in any way replace the standard legal requirements by the contractors, in relation to**

**the OH&S Standards & Requirements or any Standards & Requirements in relation to the professional works and protocols that are required in the industry for solar installations.**

**All the standard safety requirements for minimum distances for solar installations and safety standards for installation on exterior roofs and other standard requirements for solar installations ALL OVERRIDE THIS REPORT.**

**This report is the minimum requirements set out by Master Property Inspections & Melcorp Strata Pty Ltd to make sure that the works and installations have some minimum requirements that DO NOT override the safety standards for the industry and to insist that the works are all to be completed to a Tradesmen's Like Finish.**

# Terms on which this report was prepared

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**SERVICE** As requested by the Client, the inspection carried out by the Building Consultant (“the Consultant”) was a ‘Standard Property Report’.

**PURPOSE OF INSPECTION** The purpose of this inspection is to provide advice to the Client regarding the condition of the Building and Site at the time of inspection.

**SCOPE OF INSPECTION** This Report only covers and deals with any evidence of: Major Defects in the condition of Primary Elements including Structural Damage and Conditions Conducive to Structural Damage; any Major Defect in the condition of Secondary Elements and Finishing Elements; collective (but not individual) Minor Defects; and any Serious Safety Hazard discernible at the time of inspection. The inspection is limited to the Readily Accessible Areas of the Building and Site (see Note below) and is based on a visual examination of surface work (excluding furniture and stored items), and the carrying out of Tests.

Note. With strata and company title properties, the inspection was limited to the interior and the immediate exterior of the particular residence inspected. Common property was not inspected.

**ACCEPTANCE CRITERIA** The building was compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

Unless noted in “Special Conditions or Instructions”, the Report assumes that the existing use of the building will continue.

This Report only records the observations and conclusions of the Consultant about the readily observable state of the property at the time of inspection. The Report therefore cannot deal with:

- (a) possible concealment of defects, including but not limited to, defects concealed by lack of accessibility, obstructions such as furniture, wall linings and floor coverings, or by applied finishes such as render and paint; and
- (b) undetectable or latent defects, including but not limited to, defects that may not be apparent at the time of inspection due to seasonal changes, recent or prevailing weather conditions, and whether or not services have been used some time prior to the inspection being carried out.

These matters outlined above in (a) & (b) are excluded from consideration in this Report.

If the Client has any doubt about the purpose, scope and acceptance criteria on which the Report was based please discuss your concerns with the Consultant on receipt of the Report.

The Client acknowledges that, unless stated otherwise, the Client as a matter of urgency should implement any recommendation or advice given in this Report.

## LIMITATIONS

The Client acknowledges:

1. ‘Visual only’ inspections are not recommended. A visual only inspection may be of limited use to the Client. In addition to a visual inspection, to thoroughly inspect the Readily Accessible Areas of the property requires the Consultant to carry out when ever necessary appropriate Tests.
2. This Report does not include the inspection and assessment of items or matters outside the scope of the requested inspection and report. Other items or matters may be the subject of a Special-Purpose Inspection Report, which is adequately specified (see Exclusions below).

3. This Report does not include the inspection and assessment of items or matters that do not fall within the Consultant's direct expertise.

4. The inspection only covered the Readily Accessible Areas of the property. The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include – but are not limited to – roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.

5. Australian Standard AS4349.0-2007 Inspection of Buildings, Part 0: General Requirements recognises that a property report is not a warranty or an insurance policy against problems developing with the building in the future.

6. This Report was produced for the use of the Client. The Consultant is not liable for any reliance placed on this report by any third party.

#### EXCLUSIONS

The Client acknowledges that this Report does not cover or deal with:

- (i) any individual Minor Defect;
- (ii) solving or providing costs for any rectification or repair work;
- (iii) the structural design or adequacy of any element of construction;
- (iv) detection of wood destroying insects such as termites and wood borers;
- (v) the operation of fireplaces and chimneys;
- (vi) any services including building, engineering (electronic), fire and smoke detection or mechanical;
- (vii) lighting or energy efficiency;
- (viii) any swimming pools and associated pool equipment or spa baths and spa equipment or the like;
- (ix) any appliances such as dishwashers, insinkerator, ovens, stoves and ducted vacuum systems;
- (x) a review of occupational, health or safety issues such as asbestos content, the provision of safety glass or the use of lead based paints;
- (xi) a review of environmental or health or biological risks such as toxic mould;
- (xii) whether the building complies with the provisions of any building Act, code, regulation(s) or by-laws;
- (xiii) whether the ground on which the building rests has been filled, is liable to subside, swell or shrink, is subject to landslip or tidal inundation, or if it is flood prone; and
- (xiv) in the case of strata and company title properties, the inspection of common property areas or strata/company records.

Any of the above matters may be the subject of a special-purpose inspection report, which is adequately specified and undertaken by an appropriately qualified inspector.