



Bathroom & Toilet Renovation Report

Inspection Date: 8 May 2020

Property Address: Airport West Area



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If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

Inspection details

Property Address: Airport West Area

Date: 8 May 2020

Report Type: New Home Construction

Client

Name:

Email Address:

Phone Number:

Consultant

Name: Les Camilleri Ph: 0411807766

Email Address: les@masterpropertyinspections.com.au

Licence / Registration Number: A25361

Company Name: Master Property Inspections

Company Address: Victoria

Company Phone Number: 0411 807766

General description of property

Building Type:	Detached house
Number of Storeys:	Two storey
Siting of the building:	Not Applicable
Gradient:	The land is steep
Site drainage:	Not applicable
Orientation of the property:	The facade of the building faces east Note. For the purpose of this report the façade of the building contains the main entrance door.
Weather conditions:	Dry

Primary method of construction

Main building – floor construction:	Slab on ground
Main building – wall construction:	Not applicable
Main building – roof construction:	Not Applicable
Other timber building elements:	NOT APPLICABLE
Other building elements:	Not Applicable

Special conditions or instructions

Special requirements, requests or instructions given by the client or the client's representative -

There are no special conditions or instructions

Accessibility

Areas Inspected

The inspection covered the Readily Accessible Areas of the property. Please note obstructions and limitations to accessible areas for inspection are to be expected in any inspection.

- Building interior

The inspection does not include areas which are inaccessible due to obstructions, or where access cannot be gained due to unsafe conditions.

Obstructions and Limitations

The following obstructions may conceal defects:

- Not Applicable

Obstructions increase the risk of undetected defects, please see the overall risk rating for undetected defects.

Inaccessible Areas

The following areas were inaccessible:

- Not Applicable

Any areas which are inaccessible at the time of inspection present a high risk for undetected building defects. The client is strongly advised to make arrangements to access inaccessible areas urgently.

Summary

SUMMARY INFORMATION: The summary below is used to give a brief overview of observations made in each inspection area. The items listed in the summary are noted in detail under the applicable sub headings within the body of the report. The summary is NEVER to be relied upon as a comprehensive report and the client MUST read the entire report and not rely solely on this summary. If there is a discrepancy between the information provided in this summary and that contained within the body of the Report, the information in the body of the Report shall override this summary. (See definitions & information below the summary to help understand the report)

Evidence of safety hazards	Not Found
Evidence of non compliant works	Found
Evidence of substandard workmanship	Found
Evidence of incomplete works	Found

Additional specialist inspections

It is Strongly Recommended that the following Inspections and Reports be obtained prior to any decision to purchase the Property and/or before settlement. Obtaining these reports will better equip the purchaser to make an informed decision.

Not Applicable

Significant items

Safety Hazard

No evidence was found.

Non Compliant

Non Compliant 2.01

Location: Bathroom

Finding: Sealant / Caulking - Wet Areas & Junctions.
Generally the caulking is not completed to tradesmen like finish and should be a fine consistent smooth finish to all joint areas of approximately 3 mm and completed to a tradesmans like finish, which it clearly is not.

The photos attached are just a guide to the type of repairs required and are NOT all the defects related to this topic on the property.
All areas to the entire property should be checked carefully to identify any further defects of the same type.

Defective Caulking To Cabinetry, Bench Tops, Tile Junctions, Cabinetry/Plaster Junctions, Etc.

It was noted on inspection that sealant is missing, inadequate and/or not completed to a tradesmens like finish.

This may include floor edges, kitchen benches/splashbacks, vanities, cabinetry/plaster junctions, bath edges and shower floor/wall corners, etc.

Particular care should be considered to all wet area adjoining surface joints & junctions

GUIDE TO STANDARDS AND TOLERANCES 2015

10.09 Sealing around benches and items installed in benches

Where required, junctions between bench tops and adjoining surfaces are defective if they are not sealed with a suitable flexible sealant of matching or agreed colour.

Seals around items such as sinks, hand basins or the like are defective if the joint leaks or they are not installed in accordance with the manufacturer's installation requirements.

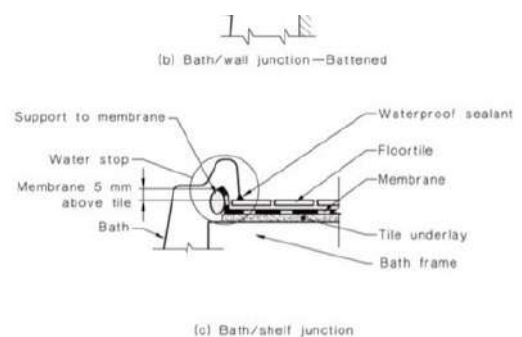
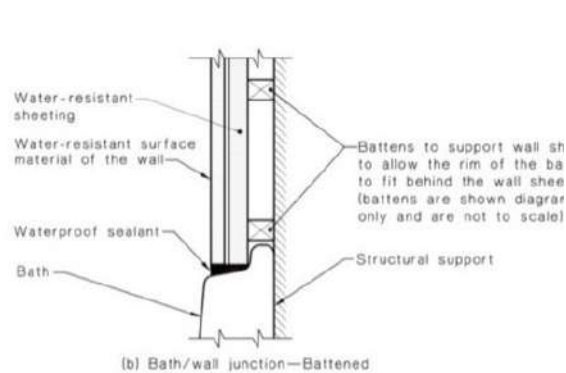
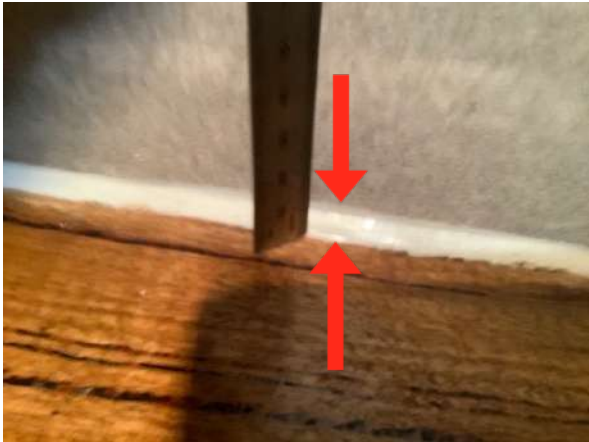


FIGURE 3.2 TYPICAL BATH JUNCTIONS





Non Compliant 2.02

Location: Bathroom

Finding: Plaster wall surfaces - Vertical / Horizontal Defective to plaster, tiling and/or framing.

It is observed that the wall frame/s are defective as there is a deviation from a vertical or straight plumb line which exceeds 4mm within any 2m of height / length.

This is commonly referred to as a bow in the frame material and/or defective workman. Any bow in excess of 4mm as identified exceeds the allowable Standards and Tolerances and is considered defective.

Any deviation in excess of 4mm exceeds the allowable Standards and Tolerances and is considered a defect.

A registered builder should be appointed to assess the defect and perform rectification works as necessary.

A deviation (large bow) exceeding 4mm measured across a 2 mtr straight edge was identified in areas as per the photos attached.

This deviation from the verticality / horizontal or plumbness of the wall is a defect with reference to Standards and Tolerances 9.10.

We refer the builder to AS 2589, clause 4.2.2.

4.2.2 Finished framing deviations and tolerances

The deviation in the position of the bearing surface of the finished framing immediately prior to installation of lining from a 2 mtr straight edge shall not exceed the values given in Table 4.2.2 when measured over a 2 m span at any point (see Figure 4.2.2(A)).

Where the dimensional tolerances of the fixing surface plane fall outside these tolerances, a suitable levelling system shall be used (see Figure 4.2.2(B)).

For wall and ceiling framing that meets the dimensional tolerances of this Clause, gypsum linings may be fixed directly to the framing with an appropriate fastening system in accordance with Clause 4.4.3.

Standards And Tolerances.

4.02 Verticality or plumbness of steel and timber frames and exposed posts.

Posts and wall frames are defective if they deviate from vertical by more than 5 mm over a 1.8 m height. Refer to Diagram E.

Standards And Tolerances 2015.

4.03 Straightness of steel and timber frame surfaces

Frames are defective if they deviate from plane (horizontal or vertical bow) by more than 4 mm in any 2 m length of wall.

Considerable re working of the walls to rectify this defect in the areas specified is required. This work will consist of taking out tiles, waterproofing, cement sheet and or water resistant plaster, and re-installation and full repair of waterproofing And all items that have to be repaired.



Non Compliant 2.03

Location: Bathroom

Finding: Tile grout - inconsistent width.

This defect has come about due to misjudgement on the tile set up. Normally the tiler would calculate the tiles and the tile grout widths to determine the first tile installed on the wall or floor, meaning it to be a full tile or 3/4 tile or 1/2 tile in order not to allow this defect to happen.

The tiles will require to be reworked as the max gap must not exceed the tile grout mortar width of approximately 3mm to 5mm max.

Areas of grouting which are inconsistent in their width were identified. It is considered a defect with reference to AS3958.1 if grout lines are as far as practicable not consistent widths.

The relevant Australian Standard A.S. 3958.1 – 2007 Ceramic Tiles – Guide to the Installation of Ceramic Tiles, clause 5.4.6 Tile Finish and Joints also states that 'Joint widths should be consistent throughout the installation unless otherwise specified. The recommended joint widths for floors with dust-pressed tiles are 3mm, measured at the tile face' and clause 5.4.3 – Fitting, states that 'Keep all joint lines, including mitres, straight and of even width'. These tiles and the grout joint widths must be properly rectified or replaced.

Grouting is defective if it is not carried out in accordance with the requirements of Clause 5.7 of AS 3958.1.

Joints are defective if they are not, as far as is practicable, of consistent width and can be seen from a normal viewing position.

Finished grout is defective if it is not uniform in colour, smooth, without voids, pinholes or low spots.

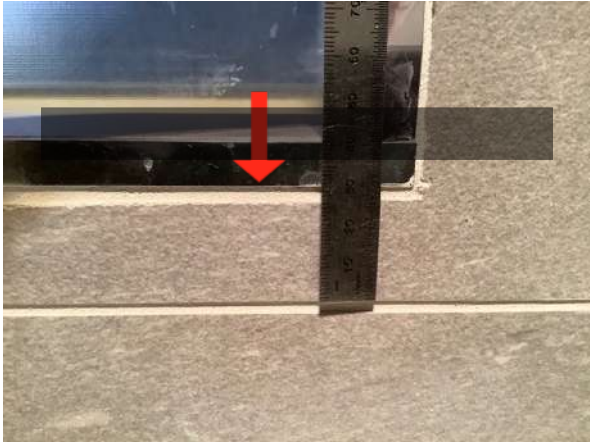
a) The top surface of the grout may be tooled to provide a contoured depression of no deeper than 1 mm for up to 6 mm wide joint and up to 2 mm for a 6-10 mm wide joint (clause 5.7(e) of AS 3958.1).

b) Joint widths for floor tiles should not exceed 3 mm for pressed tiles and 6 mm for extruded tiles (clause 4.6(c)(i) of AS 3958.1).

c) Joint widths for wall tiles should not exceed 1.5 mm for pressed tiles and 6 mm for extruded tiles (clause 5.4.6(c)(ii) of AS 3958.1).

d) Joint alignment should be consistent throughout the installation within a tolerance of 4 mm in 2 m8 (clause 5.4.6(d) of AS 3958.1).

Grout is defective if it becomes loose within 24 months of handover.



Non Compliant 2.04

Location: Bathroom

Finding: Tile finish - Lippage (AS3958).

The tile finish in this area is to a poor standard, with prominent lippage evident in several areas.

Lippage, the uneven level between tiles that have not been laid in a uniform manner, must be restricted to a maximum of 2mm between tiles, as per AS 3958.1. Non-compliant tiles were therefore detected, as the lippage exceeds this allowance.

Where lippage is non-compliant, rectification works are necessary to reduce the lippage accordingly as per

GUIDE TO STANDARDS AND TOLERANCES 2015

11.09.

Lippage (stepping) between tiles

Lippage is inherent in all installation methods and may also be unavoidable due to the tile tolerances. Lippage may also be unavoidable where tiles larger than 150 mm × 150 mm are graded to a waste outlet, unless transverse cuts are incorporated.

When measured with a straightedge, tiling is defective if the finished surface of the tiling is not at and true to within a tolerance of ± 4 mm in 2m from the required plane.

Tiling is defective if the lippage between two adjacent tiles exceeds 2 mm. In the case of tiles where the surface has been ground at, for example polished tiles, tiling is defective if the lippage exceeds 1.5 mm; for joint widths of 3 mm or less the lippage should not exceed 1 mm.





Non Compliant 2.05

Location: Bathroom

Finding: Tile grout (AS3958)Various Widths
The tile mortar grout gaps are not consistent in width.

Areas of grouting were identified in this area which are not applied or installed to the requirements of AS3958.1.

Grouting is defective if it is not carried out in accordance with the requirements of Clause 5.7 of AS 3958.1.

Joints are defective if they are not, as far as is practicable, of consistent width and can be seen from a normal viewing position.

Finished grout is defective if it is not uniform in colour, smooth, without voids, pinholes or low spots.

a) The top surface of the grout may be tooled to provide a contoured depression of no deeper than 1 mm for up to 6 mm wide joint and up to 2 mm for a 6-10 mm wide joint (clause 5.7(e) of AS 3958.1).

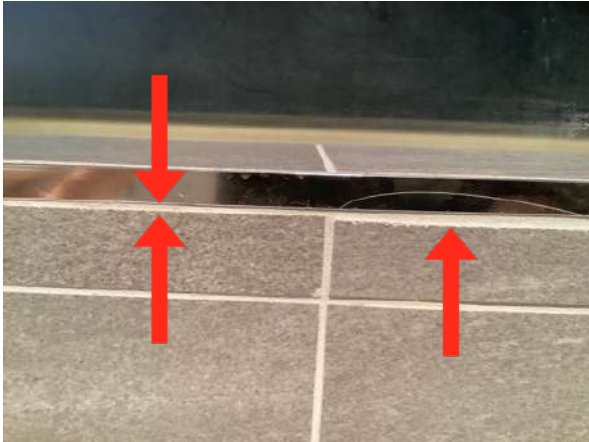
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c) Joint widths for wall tiles should not exceed 1.5 mm for pressed tiles and 6 mm for extruded tiles (clause 5.4.6(c)(ii) of AS 3958.1).

d) Joint alignment should be consistent throughout the installation within a tolerance of 4 mm in 2 m8 (clause 5.4.6(d) of AS 3958.1).

Grout is defective if it becomes loose within 24 months of handover.





Non Compliant 2.06

Location: Bathroom

Finding: Internal - Defective Works - Additional Photos

The following items will need to be completed or repaired in accordance with the Domestic Building Contracts Act 1995.

We refer the builder to the implied warranties where the builder agreed to build the dwelling in a proper and workmanlike manner and with reasonable care and skill.

DOMESTIC BUILDING CONTRACTS ACT 1995, Act No. 91/1995, Part 2 - Provisions that apply to all Domestic Building Contracts.

Part 2 - Provisions That Apply To All Domestic Building Contracts.

Division 1 - General warranties.

8. Implied warranties concerning all domestic building work.

The following warranties about the work to be carried out under a domestic building contract are part of every domestic building contract -

(A) the builder warrants that the work will be carried out in a proper and workman like manner and in accordance with the plans and specifications set out in the contract.

(D) the builder warrants that the work will be carried out with reasonable care and skill and will be completed by the date (or within the period) specified by the contract.

The recess area to sit the shower accessories is on an excessive angle.

It is typical to have a minimal angle so that the water flows back into the shower, however The angle on the base of the recess area is not completed to a tradesmens like level of satisfaction and is visually not pleasant to look at, Particularly for a new bathroom.





Non Compliant 2.07

Location: Bathroom

Finding: Internal - Defective Works - Additional Photos

The following items will need to be completed or repaired in accordance with the Domestic Building Contracts Act 1995.

We refer the builder to the implied warranties where the builder agreed to build the dwelling in a proper and workmanlike manner and with reasonable care and skill.

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The tiles to the base of the existing window should be flush with the base of the window frame, which is typical of normal for every installation of this type. In this particular case the height of the tiles far exceeds the height of the window sill, in fact you cannot visually see the bottom of the window.



Non Compliant 2.08

Location: Bathroom

Finding: Damages/ Faults - Appliances / Fittings / Tiles, Etc

It is identified that damage or faults affecting tiles, appliances and / or fittings supplied as part of the building contract have occurred. Where this is due to the builder's workmanship or damage occurring during construction it is considered a defect with respect to Standards and Tolerances - 18.02.

The builder must handover the bathroom completed as new and all damaged items that occurred during construction are required to be replaced as per the contract signed under the building act requirements.





Non Compliant 2.09

Location: Bathroom

Finding: Tile Edges (AS3958) - Jagged Edge.
The tile edges have not been cut with the correct tool and/or the correct cutting procedures leaving a jagged edge to the tile.

This is not consistent with the Australian Standards for tiling .

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Non Compliant 2.10

Location: Bathroom

Finding: Cabinet doors - misaligned

The photos attached are just a guide to the type of repairs required and are NOT all the defects related to this topic on the property.

All areas to the entire property should be checked carefully to identify any further defects of the same type.

It is observed that some of the cabinet doors are not aligned and / or have inconsistent gaps between the doors.

The gaps around the door vary in their finished widths.

The Building Commissions, Guide to Standards and Tolerances clause 8.04 Internal Door Clearances, states- 'The installation of doors is defective if within three months of completion, clearances between door leaves and frames and between adjacent door leaves are not uniform and within 1mm. A clearance between door leaves or between a door leaf and the frame is defective if it is less than 2mm or greater than 5mm in width'

The gaps around these doors must be adjusted to comply with this tolerance.



Non Compliant 2.11

Location: Kitchen

Finding: Painting - Defective (AS2311)

The plaster ceiling downstairs had gotten damaged due to the builders works and whilst the builder has repaired the plaster and paint, the workmanship is well below standards.

The paint work is inconsistent with orange peel in some areas and smooth in others or chips, scratches, runs and or imperfections.

With out treating this home with a detailed overall inspection by the painter to the sanding, patching to the timber work and plaster work to the walls and ceilings in areas required to building , the paint job will not be a level 4 finish.

Areas were identified where the surface finish of the painting was found to be defective. This includes areas of minor blemishes, missing painting, over-painting, paint runs, sags , lack of paint and/or wrinkling of paint finish.

Paint irregularities will be apparent in different light conditions and are often hidden from view in low light conditions.

During New Construction Inspections, any irregularity in the paint finish surface is considered a detracton from the area's overall appearance, and is therefore considered to be a minor defect.

An allowance is made for critical light conditions for a Level 4 finish, which is the default level for plaster surfaces. Additional painting requirements have been marked up in ONLY some areas as a guide.

These finishes should be sanded back, filled, levelled and painted as applicable. The painting contractor should be appointed to perform the necessary works prior to final handover.

Guide To Standards and Tolerances 2015.

12.02 Surface finish of paintwork

Paintwork is defective if the application has blemishes such as paint runs, paint sags, wrinkling, dust, bare or starved painted areas, colour variations, surface cracks, irregular and coarse brush marks, sanding marks, blistering, non-uniformity of gloss level and other irregularities in the surface that are visible from a normal viewing position.

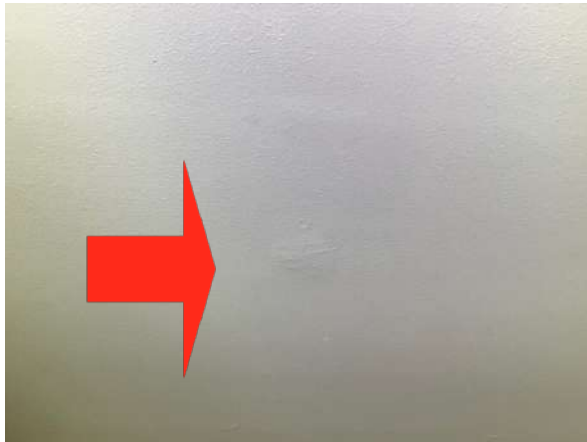
Paintwork is defective if the application results in excessive over-painting of fittings, trims, skirtings, architraves, glazing and other finished edges.

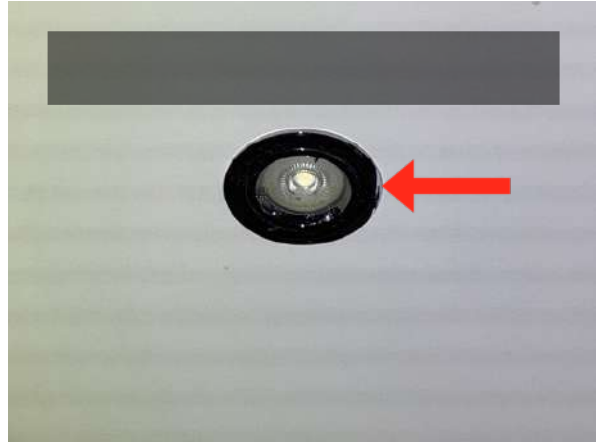
----- 13 VBA | GUIDE TO STANDARDS AND TOLERANCES 2015

Generally, variations in the surface colour, texture and finish of walls, ceilings, floors and roofs, and variations in glass and similar transparent materials are to be viewed where

possible from a normal viewing position. A normal viewing position is looking at a distance of 1.5 m or greater (600 mm for appliances and fixtures) with the surface or material being illuminated by 'non-critical light'¹. Non-critical light means the light that strikes the surface is diffused and is not glancing or parallel to that surface.

Non-critical light means the light that strikes the surface is diffused and is not glancing or parallel to that surface.





Non Compliant 2.12

Location: Toilets

Finding: Toilet Cistern - Loose Not Secured
The toilet cistern was found to be loose and relatively unstable at the time of inspection. It is suspected that this defect has developed due to defective Installation or sometimes it is just the design of the toilet, where the cistern just sits on top of the toilet pan.

If left unmanaged, the toilet cistern could deteriorate further and cause leaks and/or secondary damages.

It is recommended that the cistern be secured to the wall and if this is not possible we recommend just a couple of dabs of silicon behind the cistern and this will stabilise the cistern.



Non Compliant 2.13

Location: Toilet

Finding: Painting - Defective (AS2311)

All AREAS to the entire property should be checked CAREFULLY to identify any further paint and plaster defects to the entire property, as these defects are in other areas of the property.

The paint work is inconsistent with orange peel in some areas and smooth in others or chips, scratches, runs and or imperfections.

Areas were identified where the surface finish of the painting was found to be defective. This includes areas of minor blemishes, missing painting, over-painting, paint runs, sags, lack of paint and/or wrinkling of paint finish.

Paint irregularities will be apparent in different light conditions and are often hidden from view in low light conditions.

During New Construction Inspections, any irregularity in the paint finish surface is considered a detraction from the area's overall appearance, and is therefore considered to be a minor defect.

An allowance is made for critical light conditions for a Level 4 finish, which is the default level for plaster surfaces. Additional painting requirements have been marked up in ONLY some areas as a guide.

These finishes should be sanded back, filled, levelled and painted as applicable. The painting contractor should be appointed to perform the necessary works prior to final handover.

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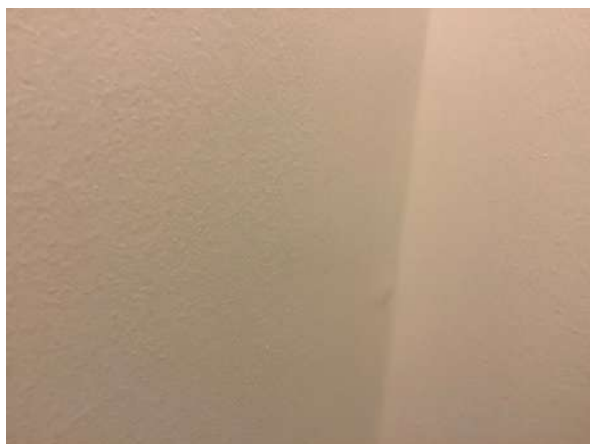
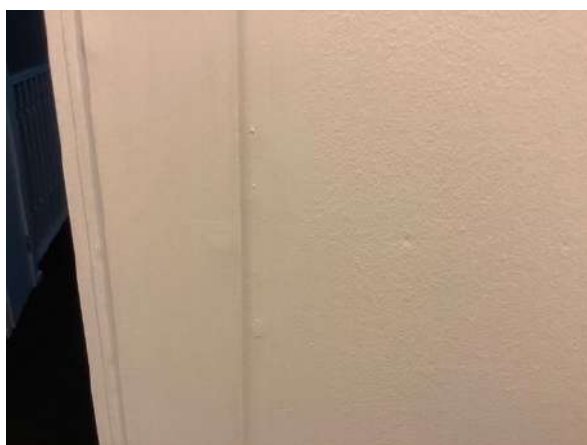
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Paintwork is defective if the application results in excessive over-painting of fittings, trims, skirtings, architraves, glazing and other finished edges.

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Substandard Workmanship

Substandard Workmanship 3.14

Location: Bathroom

Finding: Bath Tub - Drummy
DOMESTIC BUILDING CONTRACTS ACT 1995, Act No. 91/1995, Part 2 - Provisions that apply to all Domestic Building Contracts.

Part 2 - Provisions That Apply To All Domestic Building Contracts.

Division 1 - General warranties.

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(D) the builder warrants that the work will be carried out with reasonable care and skill and will be completed by the date (or within the period) specified by the contract.

Drummy bath tub was identified at the time of inspection. The term `drummy` refers to bath tub that has become detached from its fixing and/or was never attached to a secure base underneath, which means that there are areas under the bath tub that have air pockets, this in fact means the structural integrity of the bath tub is compromised and in fact the client told me that the first time they used to shower the entire bath tub dropped and the builder had to come back to re-seal the bath tub. Unfortunately the bath tub is still Drummy and a repair by taking the bath tub out and reinstalling a proper base is the only way to give the bath tub it's structural integrity required.



Substandard Workmanship 3.15

Location: Bathroom

Finding: Shower screen installation – defective.
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The shower screen has no bottom bracket, which is the same normally as the wall bracket. This is so that the glass sits inside the bracket to give the glass its structural integrity required.



Substandard Workmanship 3.16

Location: Bathroom

Finding: Door installation defective.
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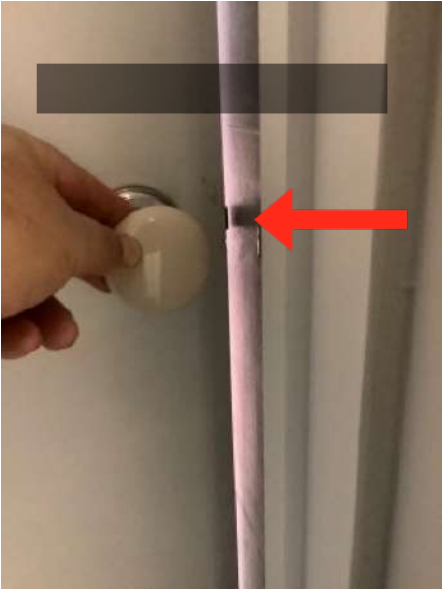
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(D) the builder warrants that the work will be carried out with reasonable care and skill and will be completed by the date (or within the period) specified by the contract.

The door hinge pins are not installed all the way through, this sometimes it's because the builder cannot get the door to operate correctly. Also the door latch, as it is closing is hitting the wall, it is obvious the builder has not installed the door frame correctly and allowed enough gap between the door frame to the wall and now the operation of the door is not functioning as intended.

In addition the door latch is hitting the tiles and damaging the tiles.





Substandard Workmanship 3.17

Location: Toilet

Finding: Toilet seat defective
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The toilet seat does not appear to be the right size to the toilet pan. The client has paid for a new toilet so the toilet seat must fit the toilet pan as the manufacturer intended.



Incomplete

Incomplete 4.18

Location: Toilet & Bathroom

Finding: Door Stop - Missing.

The is no door stop to the opening door, leaving the door to swing and hit the wall, or cupboard which will damage the area the door hits and the handle.

An appropriate door stop should have been installed prior to handover .



Additional comments

It has been brought to my attention that the builder has not supplied my client with certification papers and insurance papers prior to the job starting.

The builder is to provide the client with all documentation such as certificates or certification from all qualified trades. A waterproof certificate, plumbing certificate and an electrical certificate must be supplied to the client for various reasons including insurance. Certification shows that all works have been done by qualified trades and completed to a standard that is expected in the building industry.

With out certification papers the works are deemed defective and I highly recommend that you further investigate this matter as these are very important concerns.

I would also like to note , that there is no sign on the contract that the builder is actually a registered unlimited builder , so it may be that the works have been performed not by a registered unlimited license builder ??

The contract is not a HIA or a MASTER BUILDER contract and in this case it may be that the works are not insured ??

Noted Items

For Your Information

For Your Information 5.19

Location: Bathroom

Finding: Site Photos.

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The contract is not a HIA or a MASTER BUILDER contract and in this case it may be that the works are not insured ??

Additional photos are provided for your general reference.



[illegible]



Acceptance of Quoted Services

BAS Renovations & Plumbing provides quotes for services to individuals and businesses.

We would like to thank you for the opportunity to quote for engagement of our services which has been provided to you by BAS Renovations & Plumbing.

I, _____ on behalf of myself (the client) / business name _____ hereby accept the conditions outlined below.

Quotation Reference # 501011

Amount Quoted: \$21,942.50

Payment Terms

- 1) Payment of **20%** is required prior to the commencement of works. **\$4388.50**
- 2) Instalment payment after the completion of Stage 2 of works is **40%**. **\$8777.12**
- 3) Final payment upon completion of project is **40%**. **\$8777.12**

Scope of Works

You are accepting the scope of works as laid out in the quote supplied by BAS Renovations & Plumbing. For reasons outside of our control, if additional works are required, BAS Renovations & Plumbing will consult with the client and additional works may be required.

Client First Name <u>AMANDA</u> Surname <u>BURNSIDE</u> Signature 	BAS Renovation & Plumbing Rep First Name _____ Surname <u>Hampy</u> Signature 
Date <u>9 / 7 / 18</u>	Date <u>9 / 7 / 18</u>

Bathroom commenced 12/8/19
Last time someone on site 1/3/20
Photos of contract attached.

For Your Information 5.20

Location: Site Photos & Areas Of Interest.
Finding: Site Photos.
Additional photos are provided for your general reference.



For Your Information 5.21

Location:	For Your Information
Finding:	<p>Advice Summary.</p> <p>This inspection was performed in accordance with current “Australian Standards” & in accordance with current “Standards & Tolerances” as outlined by the Victorian Building Authority.</p> <p>The inspection is a visual inspection of the property as presented by the builder.</p> <p>This inspection performed does not in any way attempt to verify site dimensions, finished dimensions of the completed sections or parts of the building, levels, wall alignments, floor alignments, or ceiling alignments.</p> <p>The inspection performed does not in any way attempt to verify contractual conditions.</p> <p>This report contains a list of a number of defects that in our judgement require rectification.</p>

For Your Information 5.22

Location: For Your Information

Finding: Special Notes.

Particulars of Our Inspection and Report

Our Inspection is a visual inspection of the overall finishes and the quality of those finishes presented by the Builder. This Report is a list of items that in our judgement do not reach an acceptable standard of quality, level of building practice, or have not been built in a proper workmanlike manner, in relation to the Building Code of Australia, (BCA's) the Building Regulations, any relevant Australian Standards and the acceptable standards and tolerances as set down by the Building Commission.

1. Purpose

The purpose of our inspection is to identify any defects in the finishes and the quality of those finishes presented by the builder at the stage of works nominated on the front of this report. This report contains a schedule of building defects that in the writer's judgement do not reach an acceptable standard of quality, level of building practice, or have not been built in a proper workmanlike manner relative to the Building Code of Australia, the relevant Australian Standards or the acceptable standards and tolerances as set down by the Building Control Commission.

2. Scope

Our engagement is confined to that of a Building Consultant and not that of a Building Surveyor as defined in the Building Act, of 1993. We therefore have not checked and make no comment on the structural integrity of the building, nor have we checked the title boundaries, location of any easements, boundary setbacks, room dimensions, height limitations and or datum's, glazing, alpine and bush-fire code compliance, or any other requirements that is the responsibility of the Relevant Building Surveyor, unless otherwise specifically noted within this report.

Special Notes.

Conclusion

Building consultant's summary

This inspection & report is SPECIFIC ONLY to the new upstairs bathroom, upstairs toilet and downstairs water damaged plaster ceiling in kitchen.

Terms on which this report was prepared

SERVICE As requested by the Client, the inspection carried out by the Building Consultant (“the Consultant”) was a ‘Standard Property Report’.

PURPOSE OF INSPECTION The purpose of this inspection is to provide advice to the Client regarding the condition of the Building and Site at the time of inspection.

SCOPE OF INSPECTION This Report only covers and deals with any evidence of: Major Defects in the condition of Primary Elements including Structural Damage and Conditions Conducive to Structural Damage; any Major Defect in the condition of Secondary Elements and Finishing Elements; collective (but not individual) Minor Defects; and any Serious Safety Hazard discernible at the time of inspection. The inspection is limited to the Readily Accessible Areas of the Building and Site (see Note below) and is based on a visual examination of surface work (excluding furniture and stored items), and the carrying out of Tests.

Note. With strata and company title properties, the inspection was limited to the interior and the immediate exterior of the particular residence inspected. Common property was not inspected.

ACCEPTANCE CRITERIA The building was compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

Unless noted in “Special Conditions or Instructions”, the Report assumes that the existing use of the building will continue.

This Report only records the observations and conclusions of the Consultant about the readily observable state of the property at the time of inspection. The Report therefore cannot deal with:

- (a) possible concealment of defects, including but not limited to, defects concealed by lack of accessibility, obstructions such as furniture, wall linings and floor coverings, or by applied finishes such as render and paint; and
- (b) undetectable or latent defects, including but not limited to, defects that may not be apparent at the time of inspection due to seasonal changes, recent or prevailing weather conditions, and whether or not services have been used some time prior to the inspection being carried out.

These matters outlined above in (a) & (b) are excluded from consideration in this Report.

If the Client has any doubt about the purpose, scope and acceptance criteria on which the Report was based please discuss your concerns with the Consultant on receipt of the Report.

The Client acknowledges that, unless stated otherwise, the Client as a matter of urgency should implement any recommendation or advice given in this Report.

LIMITATIONS

The Client acknowledges:

1. ‘Visual only’ inspections are not recommended. A visual only inspection may be of limited use to the Client. In addition to a visual inspection, to thoroughly inspect the Readily Accessible Areas of the property requires the Consultant to carry out when ever necessary appropriate Tests.
2. This Report does not include the inspection and assessment of items or matters outside the scope of the requested inspection and report. Other items or matters may be the subject of a Special-Purpose Inspection Report, which is adequately specified (see Exclusions below).

3. This Report does not include the inspection and assessment of items or matters that do not fall within the Consultant's direct expertise.

4. The inspection only covered the Readily Accessible Areas of the property. The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include – but are not limited to – roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.

5. Australian Standard AS4349.0-2007 Inspection of Buildings, Part 0: General Requirements recognises that a property report is not a warranty or an insurance policy against problems developing with the building in the future.

6. This Report was produced for the use of the Client. The Consultant is not liable for any reliance placed on this report by any third party.

EXCLUSIONS

The Client acknowledges that this Report does not cover or deal with:

- (i) any individual Minor Defect;
- (ii) solving or providing costs for any rectification or repair work;
- (iii) the structural design or adequacy of any element of construction;
- (iv) detection of wood destroying insects such as termites and wood borers;
- (v) the operation of fireplaces and chimneys;
- (vi) any services including building, engineering (electronic), fire and smoke detection or mechanical;
- (vii) lighting or energy efficiency;
- (viii) any swimming pools and associated pool equipment or spa baths and spa equipment or the like;
- (ix) any appliances such as dishwashers, insinkerator, ovens, stoves and ducted vacuum systems;
- (x) a review of occupational, health or safety issues such as asbestos content, the provision of safety glass or the use of lead based paints;
- (xi) a review of environmental or health or biological risks such as toxic mould;
- (xii) whether the building complies with the provisions of any building Act, code, regulation(s) or by-laws;
- (xiii) whether the ground on which the building rests has been filled, is liable to subside, swell or shrink, is subject to landslip or tidal inundation, or if it is flood prone; and
- (xiv) in the case of strata and company title properties, the inspection of common property areas or strata/company records.

Any of the above matters may be the subject of a special-purpose inspection report, which is adequately specified and undertaken by an appropriately qualified inspector.