



Pre-Paint & Waterproofing Report.

Inspection Date: 28 Feb 2020

Property Address: Rockbank Area



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If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

Terms on which this report was prepared

Special conditions or instructions

There are no special conditions or instructions

The parties

Pre inspection agreement supplied: No

Name of Client:

Principal Name:

Property Address: Rockbank Area

Client's Email Address:

Client's Phone Number:

Consultant: Les Camilleri Ph: 0411807766
Email: les@masterpropertyinspections.com.au

Licence / Registration Number: A25361

Company Name: Master Property Inspections

Company Address: Victoria

Company Phone Number: 0411 807766

Section A - Results of inspection - summary

This Summary is not the Report. The following Report MUST be read in full in conjunction with this summary. If there is a discrepancy between the information provided in this Summary and that contained within the body of the Report, the information in the body of the Report shall override this Summary.

Evidence of safety hazards **Not Found**

Evidence of non compliant works **Found**

Evidence of substandard workmanship **Not Found**

Evidence of incomplete works **Not Found**

Additional specialist inspections

Not Applicable

Section B - General

General description of the property

Building Type:	Detached house
Number of Storeys:	Single storey
Siting of the building:	Not Applicable
Gradient:	Not Applicable
Site drainage:	The site is inadequately drained, however at this stage of the build
Orientation of the property:	The facade of the building faces east Note. For the purpose of this report the façade of the building contains the main entrance door.
Weather conditions:	Dry

Primary method of construction

Main building – floor construction:	Slab on ground
Main building – wall construction:	Internal gypsum plasterboard, Brick veneer, Timber framed
Main building – roof construction:	Not Applicable
Other timber building elements:	NOT APPLICABLE
Other building elements:	Garage

Section C - Accessibility

Areas Inspected

The inspection covered the Readily Accessible Areas of the property. Please note obstructions and limitations to accessible areas for inspection are to be expected in any inspection.

- Building interior
- Building exterior

The inspection does not include areas which are inaccessible due to obstructions, or where access cannot be gained due to unsafe conditions.

Obstructions and Limitations

The following obstructions may conceal defects:

- Not Applicable

Obstructions increase the risk of undetected defects, please see the overall risk rating for undetected defects.

Inaccessible Areas

The following areas were inaccessible:

- Not Applicable

Any areas which are inaccessible at the time of inspection present a high risk for undetected building defects. The client is strongly advised to make arrangements to access inaccessible areas urgently.

Section D - Significant items

Safety Hazard

No evidence was found.

Non Compliant

2.01

Location: Frame & Plaster - All Areas

Finding: Various Plaster Walls / Frame / Posts - Not Square Or Vertical Or Horizontal (Maximum Variation Is 4mm Over 2 mtrs)
 Procedure for checking the walls, cornices and timber fixing was performed.
 A deviation (large bow) exceeding 4mm measured across a 2 mtr straight edge was identified in all the areas as per the photos attached & any gaps larger then 4mm is considered a defect and requires considerable re-working of the plaster and possible timber framing in all the areas to rectify the defects.

It is observed that plaster walls / frames are defective as there is a deviation from a vertical or straight plumb line in any direction which exceeds 4mm within any 2m of height / length. This is a technical defect and may result in subsequent structural defects if left unmanaged.

This is commonly referred to as a bow in the frame material and/or defective workmanship. Any bow in excess of 4mm as identified exceeds the allowable Standards and Tolerances and is considered defective.

 Any deviation in excess of 4mm exceeds the allowable Standards and Tolerances and is considered a defect.

A registered builder should be appointed to assess the defect and perform rectification works as necessary.

-/ Standards And Tolerances.

4.02 Verticality or plumbness of steel and timber frames and exposed posts.

Posts and wall frames are defective if they deviate from vertical by more than 5 mm over a 1.8 m height. Refer to Diagram E.

-/ Standards And Tolerances 2015.

4.03 Straightness of steel and timber frame surfaces

Frames are defective if they deviate from plane (horizontal or vertical bow) by more than 4 mm in any 2 m length of wall.

This deviation from the verticality / horizontal or plumbness of the wall is a defect with reference to Standards and Tolerances 9.10.

-/ We refer the builder to AS 2589, clause 4.2.2.

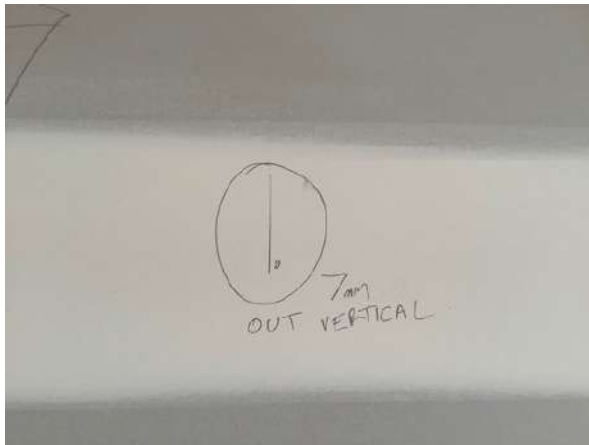
4.2.2 Finished framing deviations and tolerances

The deviation in the position of the bearing surface of the finished framing immediately prior to installation of lining from a 2 mtr straight edge shall not exceed the values given in Table 4.2.2 when measured over a 2 m span at any point (see Figure 4.2.2(A)).

Where the dimensional tolerances of the fixing surface plane fall outside these tolerances, a suitable levelling system shall be used (see Figure 4.2.2(B)).

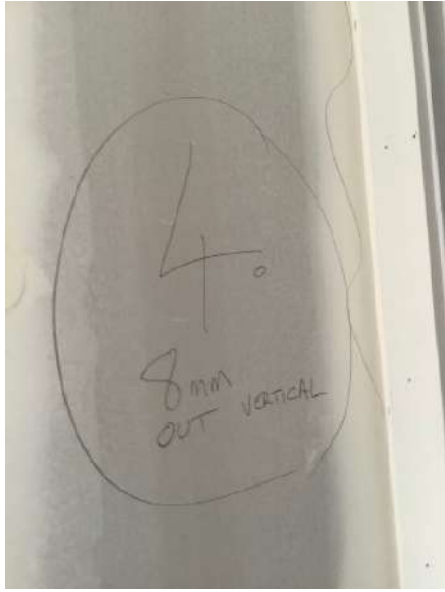
For wall and ceiling framing that meets the dimensional tolerances of this Clause, gypsum linings may be fixed directly to the framing with an appropriate fastening system in accordance with Clause 4.4.3.

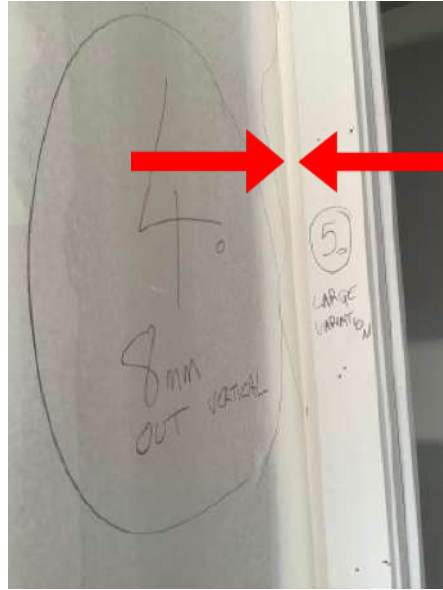
IMPORTANT:
DO NOT RELY ON THIS REPORT FOR ALL FRAME AND PLASTER REPAIRS, AS THIS REPORT IS ONLY A GUIDE AND IT IS THE BUILDERS RESPONSIBILITY TO INVESTIGATE, CHECK AND REPAIR THE ENTIRE FRAME AND PLASTER TO ALL ROOMS.

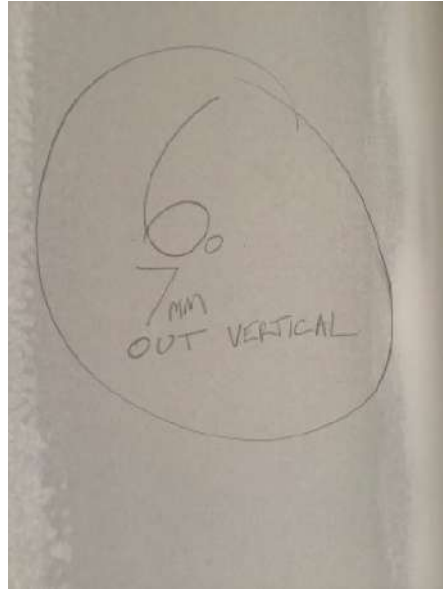


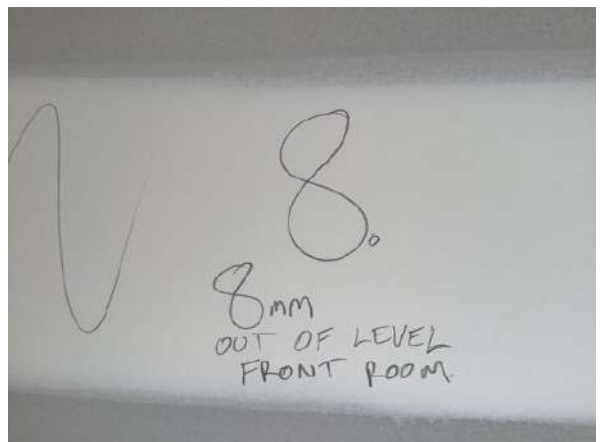
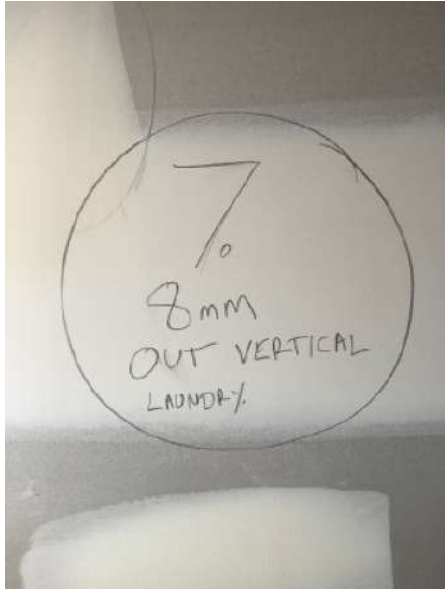
















Substandard Workmanship

No evidence was found.

Incomplete

No evidence was found.

Section E - Conclusion

Summary

This is a Pre-Paint Plaster Report for the framing, plaster walls, cornices and timber work if installed. All areas must be rectified prior to painting and continuation of the internal areas.

A re-inspection is HIGHLY RECOMMENDED once all repairs are completed.

Section F - Additional comments

There are no additional comments

Noted Items

For Your Information

5.02

Location: For Your Information

Finding: Special Notes

Particulars of Our Inspection and Report

Our Inspection is a visual inspection of the overall finishes and the quality of those finishes presented by the Builder. This Report is a list of items that in our judgement do not reach an acceptable standard of quality, level of building practice, or have not been built in a proper workmanlike manner, in relation to the Building Code of Australia, (BCA's) the Building Regulations, any relevant Australian Standards and the acceptable standards and tolerances as set down by the Building Commission.

1. Purpose

The purpose of our inspection is to identify any defects in the finishes and the quality of those finishes presented by the builder at the stage of works nominated on the front of this report. This report contains a schedule of building defects that in the writer's judgement do not reach an acceptable standard of quality, level of building practice, or have not been built in a proper workmanlike manner relative to the Building Code of Australia, the relevant Australian Standards or the acceptable standards and tolerances as set down by the Building Control Commission.

2. Scope

Our engagement is confined to that of a Building Consultant and not that of a Building Surveyor as defined in the Building Act, of 1993. We therefore have not checked and make no comment on the structural integrity of the building, nor have we checked the title boundaries, location of any easements, boundary setbacks, room dimensions, height limitations and or datum's, glazing, alpine and bush-fire code compliance, or any other requirements that is the responsibility of the Relevant Building Surveyor, unless otherwise specifically noted within this report.

5.03

Location: For Your Information

Finding: Advice Summary.

This inspection was performed in accordance with current "Australian Standards" & in accordance with current "Standards & Tolerances" as outlined by the Victorian Building Authority.

The inspection is a visual inspection of the property as presented by the builder.

This inspection performed does not in any way attempt to verify site dimensions, finished dimensions of the completed sections or parts of the building, levels, wall alignments, floor alignments, or ceiling alignments.

The inspection performed does not in any way attempt to verify contractual conditions.

This report contains a list of a number of defects that in our judgement require rectification.

5.04

Location: Site Photos

Finding: Site

Additional photos are provided for your general reference.





5.05

Location: Waterproofing - All Areas

Finding: Water proofing
At the time of the inspection all the waterproofing to all wet areas complied with the Australian standards and no further works are required in relation to any waterproofing.







Section G - Annexures to this report

There are no annexures to this report

Section H - Certification

Name: Les Camilleri

Date of issue: 28 Feb 2020