



Practical Completion Report (Final)

Inspection Date: 5 Feb 2020

Property Address:



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If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

Terms on which this report was prepared

Special conditions or instructions

The parties

Pre inspection agreement supplied: No

Name of Client:

Principal Name:

Property Address:

Client's Email Address:

Client's Phone Number:

Consultant: Les Camilleri Ph: 0411807766
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Licence / Registration Number: A25361

Company Name: Master Property Inspections

Company Address: Victoria

Company Phone Number: 0411 807766

Section A - Results of inspection - summary

This Summary is not the Report. The following Report MUST be read in full in conjunction with this summary. If there is a discrepancy between the information provided in this Summary and that contained within the body of the Report, the information in the body of the Report shall override this Summary.

Evidence of safety hazards	Not Found
Evidence of non compliant works	Found
Evidence of substandard workmanship	Found
Evidence of incomplete works	Found

Additional specialist inspections

Not Applicable

Section B - General

General description of the property

Building Type:	Detached house
Number of Storeys:	Three storey
Siting of the building:	Not Applicable
Gradient:	Not Applicable
Site drainage:	The site drainage is not adequate in all areas.
Orientation of the property:	The facade of the building faces west Note. For the purpose of this report the façade of the building contains the main entrance door.
Weather conditions:	

Primary method of construction

Main building – floor construction:	Stumps & Suspended Flooring
Main building – wall construction:	Timber framed, Fibre-cement sheeting
Main building – roof construction:	Timber framed, Corrugated Sheet Roofing, Pitched roof
Other timber building elements:	NOT APPLICABLE
Other building elements:	Decking, Verandah, Carport

Section C - Accessibility

Areas Inspected

The inspection covered the Readily Accessible Areas of the property. Please note obstructions and limitations to accessible areas for inspection are to be expected in any inspection.

- Building interior
- Building exterior
- Roof space
- The site

The inspection does not include areas which are inaccessible due to obstructions, or where access cannot be gained due to unsafe conditions.

Obstructions and Limitations

The following obstructions may conceal defects:

- Floor coverings
- Builder's debris
- Ceiling cavity inspection was obstructed by approximately 50% due to obstructions like insulation, ducting and poor clearance or access restrictions.

Obstructions increase the risk of undetected defects, please see the overall risk rating for undetected defects.

Inaccessible Areas

The following areas were inaccessible:

- Not Applicable

Any areas which are inaccessible at the time of inspection present a high risk for undetected building defects. The client is strongly advised to make arrangements to access inaccessible areas urgently.

Section D - Significant items

Safety Hazard

No evidence was found.

Non Compliant

2.01

Location: Internal Perimeters

Finding: Doors (external) - Gaps and / or seals defective
The photos attached are just a guide to the type of repairs required and are NOT all the defects related to this topic on the property.
All interior rooms should be checked carefully to identify any further defects of the same type.

It was identified that external door/s are not fully sealed to all edges.

This requirement is inclusive of the garage to house entry door which must have full weather seals fitted to comply with the BCA part 3.12.3.3.

Seals required to the 3 sides of the door frame and a bottom seal to the door as well.





2.02

Location: Internal Perimeters

Finding: Doors Paint-Tops & Bottoms Not sealed (AS2688)
 I have ONLY taken LIMITED photos of this defect and attached are LIMITED photos of this defect in SOME AREAS ONLY.
 All AREAS to the entire property should be checked CAREFULLY to identify any further defects that are the same, as this defect is in other areas of the property.

 The paint finish is missing to the tops and bottoms of the doors.

It was found at the time of inspection that the doors have not been adequately sealed.

Tops and bottoms of all external and internal doors must be sealed to uphold manufacturer warranty conditions and to comply with Section 8.06 of the Guide to Standards and Tolerances, 2015.

The door warranty is dependent on the builder ensuring that this basic task is carried out. Adequate sealing of affected doors must be completed prior to final handover.

.....

8.06 Sealing of door edges

GUIDE TO STANDARDS AND TOLERANCES 2015

Door leaves are defective if they do not have all sides, top and bottom edges sealed/painted in accordance with the manufacturer's specifications.





2.03

Location: Internal Perimeters

Finding: Architraves - Gaps (AS2047)

The gaps between the architraves and associated building elements is deemed to be too great in this area.

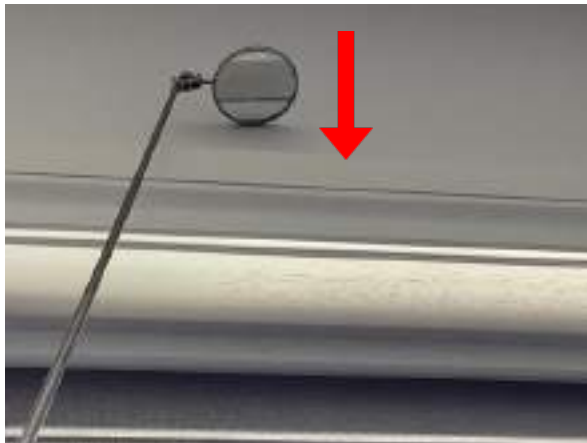
The gaps between the architrave and the plaster above and below all windows and above all door frames must be filled, in accordance with AS 2047 'Window ion and installation`.

The current gap is allowing a volume of air to enter the dwelling. BCA 3.12.3.3, in addition to relevant Australian Standards, also calls for all gaps around windows and doors to be sealed.

It is advised that these works be completed prior to final handover.

I have ONLY taken LIMITED photos of this defect and attached are LIMITED photos of this defect in SOME AREAS ONLY.

All AREAS to the entire property should be checked CAREFULLY to identify any further defects that are the same, as this defect is in other areas of the property.



2.04

Location: Sealant / Caulking - All Areas

Finding: Sealant / Caulking - Missing Floor Areas.
Caulking / Silicon - Missing, Required To Bottom Of Skirtings, Door Frames, Entrances, Kitchens, Toilets, Garages or Similar To Protect Skirtings & Timbers From Moisture & Water Damage.

It was noted on inspection that sealant and/or caulking is not to the bottom of all the skirtings, where the skirting is on top of the timber flooring or floor tiles.

A flexible sealant is required to allow for expected expansion and contraction, while keeping the joints between the skirting and the flooring water tight and protective of all associated building materials.

So if caulking is completed to the areas in the report plus additional areas of the same type, the excessive gap clearance will be rectified and also finished to a tradesmens like finish with no inconsistent gaps to the flooring.

Garages in particular are subjected to sometimes high levels of incoming water through incoming rain and/or hosing and/or moisture, which is all very typical and it is very common to identify swollen skirtings in these type of areas.

Some builders may argue that the manufacturer does not allow caulking to these areas as the warranty may become void, so I reply that the builder must have a consistent smooth finish with enough coats of paint to the very bottom of the skirting, also painting to the underside of the skirting so that the timber will not swell up with moisture and/or water over time as commonly happens from mopping and general typical use of water and typical living conditions.

It is also noticed that some areas the builder has applied caulking to the flooring already, but only chosen areas.

This item should be completed prior to handover.

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DOMESTIC BUILDING CONTRACTS ACT 1995, Act No. 91/1995, Part 2 - Provisions that apply to all Domestic Building Contracts.

Part 2 - Provisions That Apply To All Domestic Building Contracts.

Division 1 - General warranties.

8. Implied warranties concerning all domestic building work.

The following warranties about the work to be carried out under a domestic building contract are part of every domestic building contract -

(A) the builder warrants that the work will be carried out in a proper and workman like manner

and in accordance with the plans and specifications set out in the contract.

(D) the builder warrants that the work will be carried out with reasonable care and skill and will be completed by the date (or within the period) specified by the contract.

ALSO

Additional photos are provided for your general reference.

Arrows have been included to highlight areas of importance.

All these photos are added in to demonstrate DEFECTIVE / SUB STANDARD and/or INCOMPLETE WORKS and they are all required to be rectified as they are ALL not satisfactory completion for Handover as per the DOMESTIC BUILDING CONTRACT ACT 1995 as stated above.

Please discuss these photos with your building consultant for clarification if required.

I have ONLY taken LIMITED photos of this defect and attached are LIMITED photos of this defect in SOME AREAS ONLY.

All AREAS to the entire property should be checked CAREFULLY to identify any further defects that are the same, as this defect is in other areas of the property.





2.05

Location: Sealant / Caulking - All Areas

Finding: Sealant / Caulking - Wet Areas & Junctions.

The photos attached are just a guide to the type of repairs required and are NOT all the defects related to this topic on the property.

All areas to the entire property should be checked carefully to identify any further defects of the same type in all areas.

Defective Caulking To Cabinetry, Bench Tops, Tile Junctions, Cabinetry/Plaster Junctions, Etc.

It was noted on inspection that sealant is missing, inadequate and/or not completed to a tradesmens like finish.

This may include floor edges, kitchen benches/splashbacks, vanities, cabinetry/plaster junctions, bath edges and shower floor/wall corners, etc.

Particular care should be considered to all wet area adjoining surface joints & junctions

This must be completed prior to handover.

GUIDE TO STANDARDS AND TOLERANCES 2015

10.09 Sealing around benches and items installed in benches

Where required, junctions between bench tops and adjoining surfaces are defective if they are not sealed with a suitable flexible sealant of matching or agreed colour.

Seals around items such as sinks, hand basins or the like are defective if the joint leaks or they are not installed in accordance with the manufacturer's installation requirements.

DOMESTIC BUILDING CONTRACTS ACT 1995, Act No. 91/1995, Part 2 - Provisions that apply to all Domestic Building Contracts.

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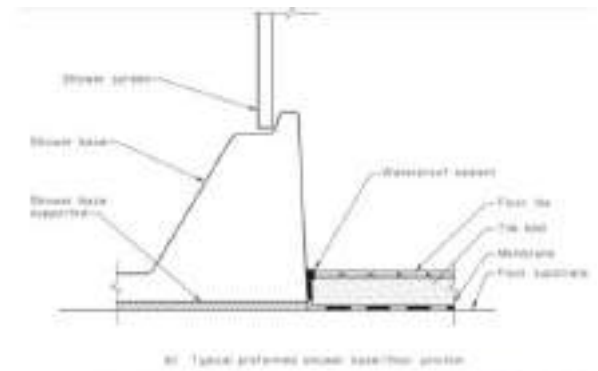
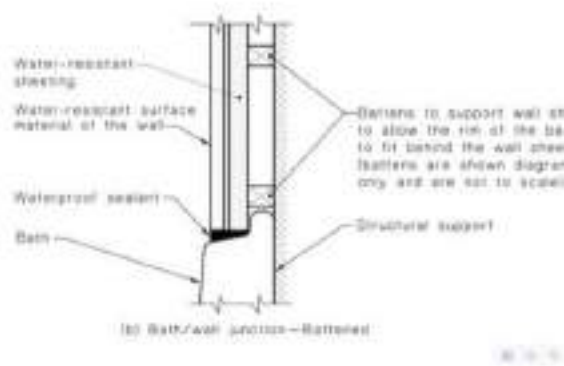


FIGURE 3.1 TYPICAL PREFORMED SHOWER BASE JUNC

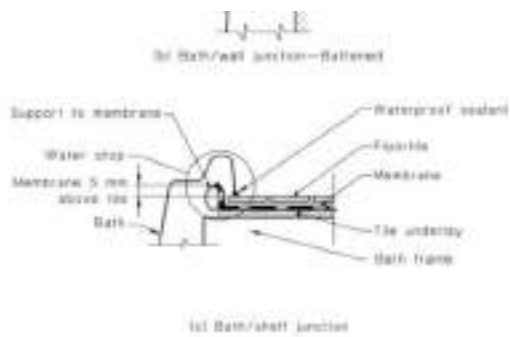
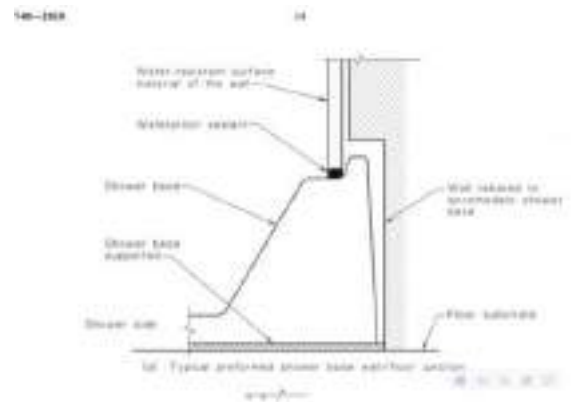
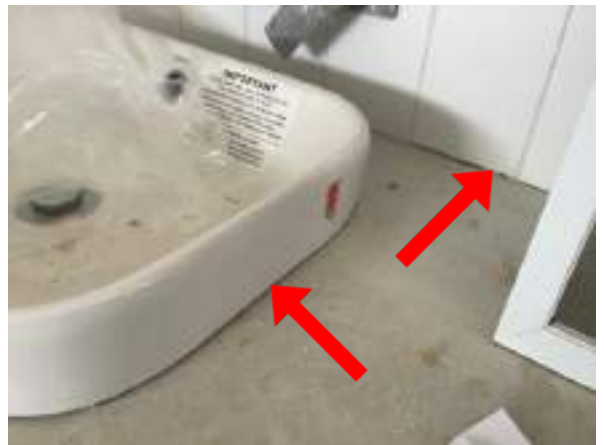


FIGURE 3.2 TYPICAL BATH JUNCTIONS







2.06

Location: Painting - All Areas

Finding: Painting - Defective (AS2311)

I cannot stress enough That this home is not complete in all areas and various items, this does not exclude the paintwork to the timber work, exterior work, Plasterwork, timber windows and all other painting areas.

It is impossible to determine the faults as the painting is not complete and has many defects. This home is virtually a total paint from top to bottom inside and out, as there are many repairs sanding to do prior to painting, and it is important that the painting is complete as per the clients contract and to a level for finish of the Australian standards.

The paint defect photos in this report are just a generalisation and are not all the different types of defects to the paint on the walls, ceilings, architraves, skirtings, exterior timbers, exterior painted areas, garage and any other areas that require plaster & re-painting . These are just a small amount of the types of paint defects to this building and are NOT all the paint defects to all areas.

All AREAS to the entire property should be checked CAREFULLY to identify any further paint and plaster defects to the entire property, as these defects are in other areas of the property.

I highly recommend that the client and builder understand the condition of the paint to the timber work as I HIGHLY RECOMMEND that the painter inspects ALL rooms and ALL areas of the building carefully to all the timber work including the skirting, architraves and doors.

I highly recommend that the client and builder understand the condition of the paint and plaster to the walls and ceilings, but more so the paint as I HIGHLY RECOMMEND that the painter inspects ALL rooms and ALL areas of the building carefully to all the walls and ceilings as the paint does not meet the Australian Standards and Standards and Tolerances. All plaster work and plaster patching along with all the sanding and preparation to all the areas for repair to the plaster and timber work will require to be completed first and then the paint work.

The paint work is inconsistent with orange peel in some areas and smooth in others or chips, scratches, runs and or imperfections.

With out treating this home with a detailed overall inspection by the painter to the sanding, patching to the timber work and plaster work to the walls and ceilings in areas required to building , the paint job will not be a level 4 finish.

Areas were identified where the surface finish of the painting was found to be defective. This includes areas of minor blemishes, missing painting, over-painting, paint runs, sags , lack of paint and/or wrinkling of paint finish.

Paint irregularities will be apparent in different light conditions and are often hidden from view

in low light conditions.

During New Construction Inspections, any irregularity in the paint finish surface is considered a detractor from the area's overall appearance, and is therefore considered to be a minor defect.

An allowance is made for critical light conditions for a Level 4 finish, which is the default level for plaster surfaces. Additional painting requirements have been marked up in ONLY some areas as a guide.

These finishes should be sanded back, filled, levelled and painted as applicable. The painting contractor should be appointed to perform the necessary works prior to final handover.

Guide To Standards and Tolerances 2015.

12.02 Surface finish of paintwork

Paintwork is defective if the application has blemishes such as paint runs, paint sags, wrinkling, dust, bare or starved painted areas, colour variations, surface cracks, irregular and coarse brush marks, sanding marks, blistering, non-uniformity of gloss level and other irregularities in the surface that are visible from a normal viewing position.

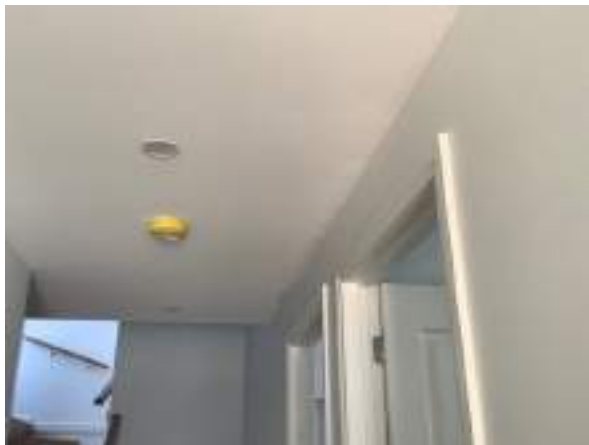
Paintwork is defective if the application results in excessive over-painting of fittings, trims, skirtings, architraves, glazing and other finished edges.

13 VBA | GUIDE TO STANDARDS AND TOLERANCES 2015

Generally, variations in the surface colour, texture and finish of walls, ceilings, floors and roofs, and variations in glass and similar transparent materials are to be viewed where possible from a normal viewing position. A normal viewing position is looking at a distance of 1.5 m or greater (600 mm for appliances and fixtures) with the surface or material being illuminated by 'non-critical light'¹. Non-critical light means the light that strikes the surface is diffused and is not glancing or parallel to that surface.

Non-critical light means the light that strikes the surface is diffused and is not glancing or parallel to that surface.















2.07

Location: Painting - All Areas

Finding: Paint Surface Finish - Incomplete/Starved/Defective.

The paint defect photos in this report are just a generalisation and are not all the different types of defects to the paint on the walls, ceilings, architraves, skirtings, exterior timbers, exterior painted areas, garage and any other areas that require plaster & re-painting . These are just a small amount of the types of paint defects to this building and are NOT all the paint defects to all areas.

All AREAS to the entire property should be checked CAREFULLY to identify any further paint and plaster defects to the entire property, as these defects are in other areas of the property.

IT IS IMPORTANT TO NOTE THAT WE HAVE ONLY PLACED TEMPORARY SMALL PIECES OF TAPE TO ONLY SOME AREAS TO INDICATE THE TYPES OF REPAIRS.
IT IS IMPORTANT TO NOTE THAT ALL AREAS TO THE ENTIRE BUILDING MUST BE INSPECTED AND REPAIRED BY THE APPROPRIATE TRADES APPLICABLE.

The paint finish in these areas was identified as being incomplete/starved/defective.

Paintwork is defective if the application has blemishes such as paint runs, paint sags, wrinkling, dust, bare or starved painted areas, colour variations, surface cracks, irregular and coarse brush marks, sanding marks, blistering, non-uniformity of gloss level and other irregularities in the surface that are visible from a normal viewing position.

Paintwork is defective if the application results in excessive over-painting of fittings, trims, skirtings, architraves, glazing and other finished edges.

Whilst incomplete or missing paint finish is generally an appearance defect, it can also lead to the development of secondary building defects over time. Incomplete areas of paint finish exposes the area to moisture, potentially accelerating the deterioration of underlying building materials.

Incomplete paint finishes should be sanded back, filled, levelled and painted as applicable. Where inadequate or missing paint protection has led to the deterioration of the associated building element, repair and/or replacement of this building element may be required.

13 VBA | GUIDE TO STANDARDS AND TOLERANCES 2015

Generally, variations in the surface colour, texture and finish of walls, ceilings, floors and roofs, and variations in glass and similar transparent materials are to be viewed where possible from a normal viewing position. A normal viewing position is looking at a distance of

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Guide To Standards and Tolerances 2015.

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Paintwork is defective if the application has blemishes such as paint runs, paint sags, wrinkling, dust, bare or starved painted areas, colour variations, surface cracks, irregular and coarse brush marks, sanding marks, blistering, non-uniformity of gloss level and other irregularities in the surface that are visible from a normal viewing position.

Paintwork is defective if the application results in excessive over-painting of fittings, trims, skirtings, architraves, glazing and other finished edges.





2.08

Location: Plaster - All Areas

Finding: Plaster wall surfaces - Vertical / Horizontal Defective to plaster and/or framing.
It is important to mention, that this property had serious vertical and horizontal walls that were considerably out of level. I supplied my client a postcompletion pre-paint inspection report if you would like more information.
No re-inspection was performed at the clients request. It is obvious that not all the areas have been repaired as the staircase is still quite out of level and there is a possibility that other areas of the home are still out of level as well and I recommend further investigation into this matter to identify all walls that are vertically and horizontally out of level.

I have ONLY taken LIMITED photos of this defect and attached are LIMITED photos of this defect in SOME AREAS ONLY.

All AREAS to the entire property should be checked CAREFULLY to identify any further defects that are the same, as this defect is in other areas of the property.

It is observed that the wall frame/s are defective as there is a deviation from a vertical or straight plumb line which exceeds 4mm within any 2m of height / length.

This is commonly referred to as a bow in the frame material and/or defective workman. Any bow in excess of 4mm as identified exceeds the allowable Standards and Tolerances and is considered defective.

Any deviation in excess of 4mm exceeds the allowable Standards and Tolerances and is considered a defect.

A registered builder should be appointed to assess the defect and perform rectification works as necessary.

A deviation (large bow) exceeding 4mm measured across a 2 mtr straight edge was identified in areas as per the photos attached.

This deviation from the verticality / horizontal or plumbness of the wall is a defect with reference to Standards and Tolerances 9.10.

We refer the builder to AS 2589, clause 4.2.2.

4.2.2 Finished framing deviations and tolerances

The deviation in the position of the bearing surface of the finished framing immediately prior to installation of lining from a 2 mtr straight edge shall not exceed the values given in Table 4.2.2 when measured over a 2 m span at any point (see Figure 4.2.2(A)).

Where the dimensional tolerances of the fixing surface plane fall outside these tolerances, a suitable levelling system shall be used (see Figure 4.2.2(B)).

For wall and ceiling framing that meets the dimensional tolerances of this Clause, gypsum linings may be fixed directly to the framing with an appropriate fastening system in accordance with Clause 4.4.3.

Standards And Tolerances.

4.02 Verticality or plumbness of steel and timber frames and exposed posts.
Posts and wall frames are defective if they deviate from vertical by more than 5 mm over a 1.8 m height. Refer to Diagram E.

Standards And Tolerances 2015.

4.03 Straightness of steel and timber frame surfaces

Frames are defective if they deviate from plane (horizontal or vertical bow) by more than 4 mm in any 2 m length of wall.

Considerable re working of the plaster to rectify this defect in the areas specified is required.





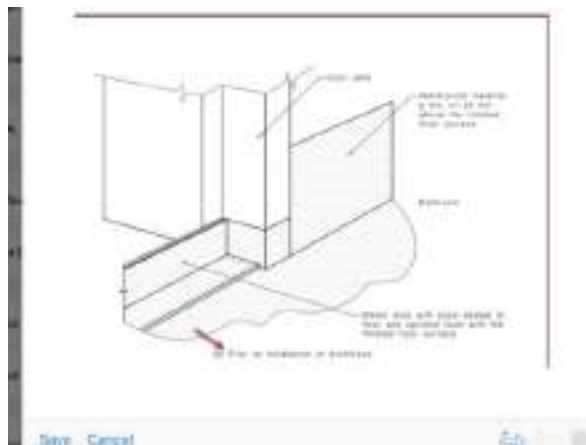
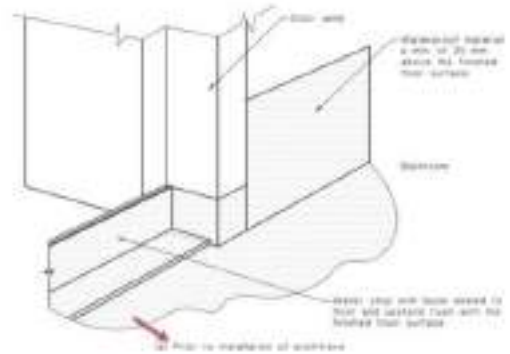
2.09

Location: Bathroom

Finding: Wet Areas - Flashing At Floor Level Required.
Diagrams attached as per AS 3.9.1.2 Perimeter Flashing At Floor Level Openings.

Waterproofed areas must be sealed to all perimeters.

The end of the tiles appears not to have the water stop at the end of the tiles.





2.10

Location: Cleaning - All Areas

Finding: Cleaning Defective - Floors, Tiles, Glass, Bathroom fittings and fixtures, Etc
It is important to note that as the home is really in construction mode not completion mode there is a high possibility that many surfaces such as timber flooring, tiles, kitchen benches, cupboards, etc will be damaged and until the home is professionally cleaned and complete it is impossible to determine the damage. So it is important that special note be taken into consideration about this topic, As repairs can sometimes be a case of total re-sanding of timber floors and re-coating as an example. As the home must be presented to the client in as new condition and to a level for finish without compromise.

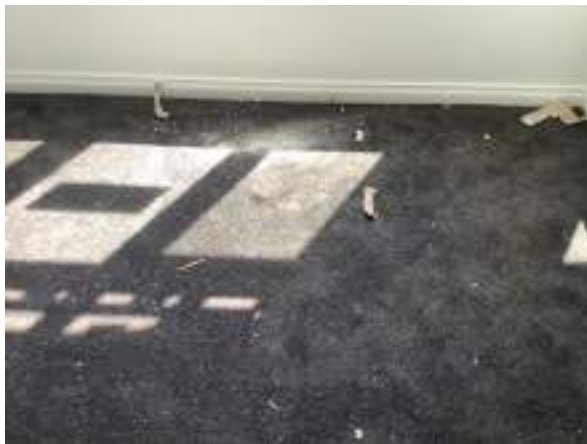
I have ONLY taken LIMITED photos of this defect and attached are LIMITED photos of this defect in SOME AREAS ONLY.

All AREAS to the entire property should be checked CAREFULLY to identify any further defects that are the same, as this defect is in other areas of the property.

It was identified that the cleanliness and degree of finish for fixtures and fittings is substandard. Fittings and fixtures including sinks and bathtubs are required to be as new prior to handover. Evidence of damage marks scuffs and dirt need to be removed where present.

The Building Commission's, Guide to Standards and Tolerances clause 18.09 Cleaning, states- 'Owners are entitled to expect that the building site and works are clean and tidy on completion. Building works are defective where windows are not clean, floors are not swept, mopped or vacuumed as appropriate, tiles, sinks, basins, troughs, baths, etc. are not cleaned and shelving, drawers and cupboards ready for use.'

Once the cleaners have properly completed all of this work, all of the glazing, mirrors, cupboards, baths, shower bases, shower screens, floor coverings, walls, stairs, garage floor, fixtures and fitting etc, should all be thoroughly checked again for any scratches and damage which may have occurred, prior to handover proceeding.









2.11

Location: Cleaning - All Areas

Finding: Cleaning - debris on site at handover
It was observed that builder's debris was present on site at handover. This is a defect with reference to Standards and Tolerances.





2.12

Location: Cabinet Doors - All Areas

Finding: Cabinet doors - misaligned //. Cabinet drawers - misaligned

The photos attached are just a guide to the type of repairs required and are NOT all the defects related to this topic on the property.

All areas to the entire property should be checked carefully to identify any further defects of the same type.

It is observed that some of the cabinet doors are not aligned and / or have inconsistent gaps between the doors.

It is observed that some of the cabinet drawers are not aligned and / or have inconsistent gaps between the drawers.

The gaps around the door vary in their finished widths.

The Building Commissions, Guide to Standards and Tolerances clause 8.04 Internal Door Clearances, states- 'The installation of doors is defective if within three months of completion, clearances between door leaves and frames and between adjacent door leaves are not uniform and within 1mm. A clearance between door leaves or between a door leaf and the frame is defective if it is less than 2mm or greater than 5mm in width'

The gaps around these doors must be adjusted to comply with this tolerance.





2.13

Location: Door Defects - All Areas

Finding: Door Clearances Defective.

The photos attached are just a guide to the type of repairs required and are NOT all the defects related to this topic on the property.

All areas to the entire property should be checked carefully to identify any further defects of the same type.

The gaps around the doors vary in their finished widths.

The gaps around the doors must be adjusted to comply with this tolerance.

The Building Commissions, Guide to Standards and Tolerances clause 8.04 Internal Door Clearances, states:

8.04 Internal door clearances

GUIDE TO STANDARDS AND TOLERANCES 2015

Unless documented otherwise, the installation of doors is defective if, within three months of completion:

a) clearances between door leaves and frames, and between adjacent door leaves are not uniform and within 1mm.

b) clearances between door leaves, or between a door leaf and the frame, is less than 2 mm or greater than 5 mm in width and/or the clearances between door leaves and frames and between adjacent door leaves are not uniform and within 1mm.

Unless additional clearance is required for removable toilet doors or air ventilation, a clearance between the door and the floor finish is defective if it is greater than 20 mm after installation of the floor covering.

Note: Clearances under doors will generally be determined by the nominated floor coverings.





2.14

Location: Door Defects - All Areas

Finding: Door operation - binding and jamming - defective
Binding and/or jamming of this door is evident during standard operation. This defect inhibits the functionality of the affected door as well as creating potential for secondary defects to associated building elements, such as damage to the floor covering.

A door that binds to flooring or to the associated door frame may have several causes, ranging from minor defects, such as poor installation of the door or deteriorated hinges, through to major structural issues, such as damage to subfloor structures.

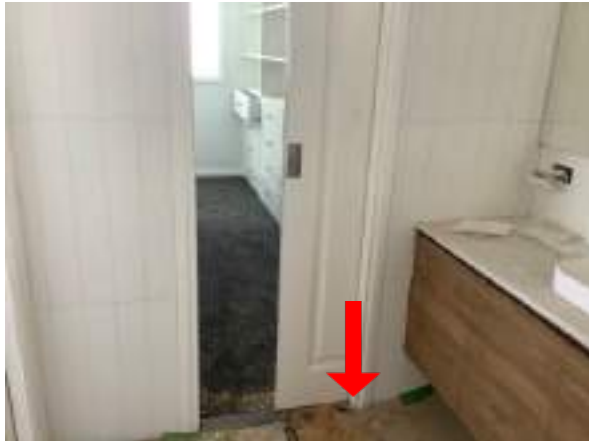
Where the operation of the door is not as intended by the manufacturer it is considered defective with reference to Standards and Tolerances



2.15

Location: Door Defects - All Areas

Finding: Cavity doors - missing guides
The cavity doors require the guides to be adjusted, also some guides are missing, All areas are to be checked for installation or repair and adjustment.





2.16

Location: Damages/ Faults - Internal

Finding: Damages/ Faults - Appliances / Fittings / Tiles, Etc
 All areas to the entire property should be checked carefully to identify any further defects of the same type.

It is identified that damage or faults affecting tiles, appliances and / or fittings supplied as part of the building contract have occurred. Where this is due to the builder's workmanship or damage occurring during construction it is considered a defect with respect to Standards and Tolerances - 18.02.





2.17

Location: Drains Internal - Blockages

Finding: Drains Internal - Blockages (AS3500)
Floor drains throughout the property have accumulated excess glue and grout during the installation process. Floor drains are vital in removing excessive water in wet areas and should therefore be fully functional otherwise secondary defects can create larger problems.

Also

The shower drain appeared to be blocked at the time of inspection. Blockages prevent building elements from operating as intended. If left unmanaged, a lack of general maintenance may lead to the development of more significant defects, such as water damage to surrounding building materials.

Minor blockages created by excessive glue and grouting impedes on this function, and creates potential for the development of moisture damage over time.

All floor drains should be assessed by the building contractor prior to final inspection and cleared where applicable. All drains must comply with AS3500.2 Plumbing and Drainage.



2.18

Location: Colourbond - All Areas

Finding: Colourbond Coating Scratched and/or Damaged. //. Powder coat finish - damaged
The colorbond / powder coat finish has had its prefinished painted coating scratched, exposing the base metal, which cannot be correctly repaired on site.

BlueScope Steel, the manufacturer of colorbond steel state on their web site that –‘BlueScope steel does not recommend the use of touch up paints on Colorbond steel’ and that ‘Our recommendation is not to touch up. Minor scratching will not affect the life of the sheet and is rarely obvious to a casual observer. Should damage be substantial, replace the sheet.

We particularly recommend against the use of spray cans, as these can result in overspraying of surrounding areas. The problem might not be immediately obvious, but since overspray paint weathers at a different rate to the oven dried paint on Colorbond steel you’ll eventually be left with an unsightly blemish on the sheet’.

The affected damaged sections will need to be replaced.

All finished surfaces must be clean and free of defects at hand over to comply with the Standards and Tolerances guide.

The photos attached are just a guide to the type of repairs required and are NOT all the defects related to this topic on the property.

All areas to the entire property should be checked carefully to identify any further defects of the same type.



2.19

Location: Pipe penetrations (cabinetry) - All Cupboards

Finding: Pipe penetrations (cabinetry) - defective
Examples of pipe penetrations or plumbing holes which are penetrating inside cupboards or cabinetry being defective were identified. Generally this means that the penetrations have not been fitted through neat minimum size penetrations or fitted with tight fitting cover plates or collars and kept to the smallest practicable size.



2.20

Location: Tiled Areas

Finding: Tiling - Falls, Floor - Tiling in Shower Recesses and Open Design Bathrooms with open showers
Tiling in Shower Recesses and Open Design Bathrooms with open showers.

The minimum standard required for wet areas in residential buildings is contained in the Building Code of Australia (BCA) and AS3740 – Waterproofing of wet areas in residential buildings. This includes tiling and gradients of bathroom floors including shower recesses.

The recommended ratio of fall within showers is between 1:60 and 1:80. However, the ratios may not be achieved due to:

- (a) The size of the tiles used – falls become more difficult to achieve with larger tiles.
- (b) The area of the floor to be drained.

In these cases, the effectiveness of the floor drainage should be measured by the performance of the floor. If water does not remain on the finished floor in a manner that can adversely affect the health or amenity of the building occupants or deteriorate building elements it may be deemed adequate.

Also

Gradient falls in wet area floors
Drainage

The primary consideration regarding a wet area floor is to ensure that the floor drains adequately. The trend to large format tiles brings the added complication of obtaining a floor fall to a single waste outlet and to avoid tile lippage in the process. AS 3740 – 2010 - Waterproofing of domestic wet areas, is a 'deemed to comply' standard to the Building Code of Australia.

The primary consideration of this standard, for falls in floor finishes, is to ensure water does not remain on the finished floor in a manner that can adversely affect the health or amenity of the occupants or deteriorate building elements.

Control of water in shower areas is critical. There are two types of showers defined in AS3740, an enclosed shower where water spread is controlled within the shower area. An unenclosed shower where water is not confined within the screened area, residual water is controlled by installing a water-stop that protrudes above the floor level under the base of the screen. Water in unenclosed showers is also controlled by laying tiles to appropriate falls.

Residual Water

AS 3740 – 2010 also states that water should not pond on the floor, with the exception of residual water remaining due to surface tension. In regards to residual water, it should be noted that no amount of slope would see all the water runoff. Consider the angle of a car windscreen, water still beads there, it even beads on vertical window glass, so complete and immediate run off is unrealistic.

Flooding

The scope of AS 3740 2010 states that 'The Standard does not cover situations where flooding of the wet areas occurs through overflowing of vessels and showers or plumbing failures'. As such flooding of floors cannot be considered when assessing the effectiveness of the drainage of floors.

Factors affecting falls

The following factors can affect fall ratios:

Finished height requirements at doorways;

Height of fixtures or fittings;

Dimensions of tiles used;

Area of the floor to be drained; and

Requirements of persons with disabilities.

Floor falls

For bathroom floors, the recommended minimum fall to the waste shall be 1:100 (10mm per 1m). For shower areas with a vertical separation between the shower area and the wet area, such as a shower screen, hob, set-down or water stop, the fall to the waste shall be 1:100.

For all other shower areas the recommended fall shall be a minimum of 1:80 (12.5mm over 1m). Where falls flatter than 1:100 are proposed, the effectiveness of the floor drainage should be confirmed to ensure that water does not remain on the finished floor in a manner that can adversely affect the health and amenity of the building occupants or deteriorate building elements. In other words, the water must drain away, with the exception of residual water.

In all cases, tiles may require diagonal cutting in the area around the waste to achieve the required falls, sufficient drainage and to ensure lipping is kept within the guidelines of AS 3958.1.



2.21

Location: Roof Space - All Areas

Finding: Insulation - missing (AS4859)

Upon inspection of the roof void it was noted that no ceiling insulation has been installed.

Insufficient insulation will result in a comparatively higher cost to heat and cool a property as there is a lack of Insulation (or uneven coverage of insulation) which works as a barrier to heat transfer. This helps to keep out unwanted heat in summer and preserves warmth inside your home in winter. It can also help soundproof your home from unwanted airborne noise transfer.

Installation of adequate insulation is required according to Australian Standards and should be conducted as soon as possible.



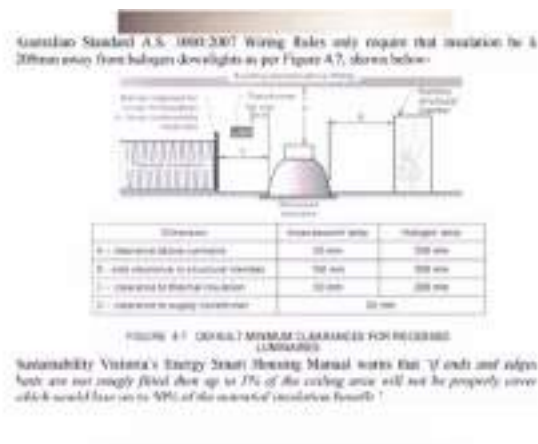
2.22

Location: Roof Space - All Areas

Finding: Roof Space - Down Lights Distance From Timbers And/Or Insulation - Loss Of Energy.
Australian Standard A.S. 3000:2007 Wiring Rules only require that insulation be kept 200mm away from halogen downlights as per Figure 4.7, shown in diagram attached.

Sustainability Victoria's Energy Smart Housing Manual warns that 'if ends and edges of batts are not snugly fitted then up to 5% of the ceiling area will not be properly covered, which would lose up to 50% of the potential insulation benefit.'

The present insulation must be rectified so that it is fitted around the light fittings correctly as required by Australian Standard AS/NZs 3000:2007 Wiring Rules to achieve the required R-value and across the entire ceiling area.



2.23

Location: Roof Space - All Areas

Finding: Light missing, above the proposed heater area in the roof and light switch missing next to manhole - Non-compliant (AS5601)
The roof space area where the heater installation is required must have a light switch within the manhole area and a light above the heater as this is a safety requirement .

The gas appliance fitted in the roof space was found to be non-compliant with contemporary building regulations.

Where an appliance is to be located in a roof space the following, as appropriate, shall apply:

- (a) The roof section in which the appliance is to be installed shall be capable of supporting the additional load.
- (b) The appliance is to be supported and placed so that the weight of the appliance will not cause deformation of any part of the building structure.
- (c) The location of the appliance is to allow access for lighting and servicing. Permanent fixed means of access is required where the appliance location is beyond the extent of normal steps or ladder.
- (d) A walkway is to be provided from the access point to the appliance and shall extend around the appliance to the point where access may be required for lighting or servicing.

The walkway is to be :

- (i) at least 600 mm wide from the access point to the appliance
- (ii) where required around the appliance, at least 750 mm
- (iii) permanently fixed to the building and
- (iv) capable of supporting the weight of a person.

There has not been a walkway provided from the access opening across to the heating unit. The relevant Australian Standard A.S. 5601 – 2004 Gas Installations, clause 5.3.11 Appliances in Roof Spaces, requires that 'A walkway is to be provided from the access point to the appliance and shall extend around the appliance to the point where access may be required for lighting or servicing'.

This walkway needs to be installed across to and around the heating appliance in accordance with the full requirements of A.S. 5601 – 2004 Gas Installations.

The heating unit is located within this roof space and access to it is unduly difficult due to the truss chords that breached access to it.

The relevant Australian Standard A.S. 5601 – 2004 Gas Installations, clause 5.3.11 Appliances in Roof Spaces, requires that 'The location of the appliance is to allow access for lighting and servicing' and defines access as 'Access can be gained without hazard or undue difficulty for inspection, repair, renewal or operational purposes.'

The access to the location of this unit must be rectified to allow for the required access to light & service it.

The builder must perform rectification works as necessary to meet ALL these requirements prior to final handover.



2.24

Location: External-Unfinished/Defective Works

Finding: External - Unfinished/Defective Works - Additional Photos

It is very important to note, that this house is not completed in all areas as the builder has gone into bankruptcy. So I am not inspecting a complete home. Generally we put incomplete works and works that are not completed to a tradesman's light finish, so this defect statement is a generalisation only, it is not to be used for specifics in the contract for the answers to note what has not been completed as per the contract, this is generally only more so defects, but for this report defects as not complete.

Again I stress that this property requires a separate report to specifically to detail all items that have not been complete as per the contract, which is very different from painting that's incomplete as an example.

The following items will need to be completed or repaired in accordance with the Domestic Building Contracts Act 1995.

We refer the builder to the implied warranties where the builder agreed to build the dwelling in a proper and workmanlike manner and with reasonable care and skill.

DOMESTIC BUILDING CONTRACTS ACT 1995, Act No. 91/1995, Part 2 - Provisions that apply to all Domestic Building Contracts.

Part 2 - Provisions That Apply To All Domestic Building Contracts.

Division 1 - General warranties.

8. Implied warranties concerning all domestic building work.

The following warranties about the work to be carried out under a domestic building contract are part of every domestic building contract -

(A) the builder warrants that the work will be carried out in a proper and workman like manner and in accordance with the plans and specifications set out in the contract.

(D) the builder warrants that the work will be carried out with reasonable care and skill and will be completed by the date (or within the period) specified by the contract.

ALSO

Additional photos are provided for your general reference.

Arrows have been included to highlight areas of importance.

All these photos are added in to demonstrate DEFECTIVE / SUB STANDARD and/or INCOMPLETE WORKS and they are all required to be rectified as they are ALL not satisfactory for Handover as per the DOMESTIC BUILDING CONTRACT ACT 1995 as stated above.







2.25

Location: Drainage - Exterior

Finding: Drainage - Fall Ground Perimeter Building - Inadequate Fall (AS2870)
Fall Ground Perimeter Building - Inadequate Fall (AS2870)

Water pooling near foundations and footings is a serious concern with the potential to adversely impact on the longevity of the dwelling. The Building Code of Australia (BCA) outlines that the soil must be graded away from the dwelling at a minimum of 50mm over 1m (1:50 fall).

Other options are falls into drainage or the similar set up.

At the time of inspection, it was noted that drainage in these areas is poor, and likely to result in the pooling of water around footings and foundations. Slab and footing movement is often caused by a failure to design and construct in accordance with Australian Standards. Such movement is likely to cause major secondary defects in the long-term.

The soil levels around several footings need to be adjusted to ensure that footings and foundations are protected from excessive moisture.

To be compliant, finished ground levels (FGLs) must fall away from slab and footing construction by a minimum 50mm over the first 1 metre. This fall is designed to promote site drainage away from foundations to minimise susceptibility to erosion.

3.1.2.3 Surface water drainage

Surface water must be diverted away from Class 1 buildings as follows:

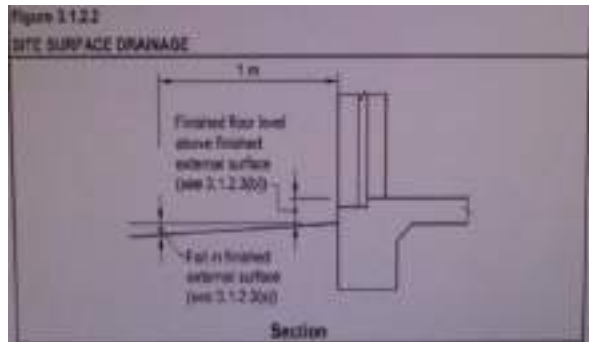
- (a) Slab-on-ground — finished ground level adjacent to buildings:
the external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than (see Figure 3.1.2.2)—
 - (i) 25 mm over the first 1 m from the building in low rainfall intensity areas for surfaces that are reasonably impermeable (such as concrete or clay paving) or
 - (ii) 50 mm over the first 1 m from the building in any other case.
- (b) Slab-on-ground — finished slab heights:
the height of the slab-on-ground above external finished surfaces must be not less than (see Figure 3.1.2.2)—
 - (i) 100 mm above the finished ground level in low rainfall intensity areas or sandy, well-drained areas; or
 - (ii) 50 mm above impermeable (paved or concreted areas) that slope away from the building in accordance with (a); or
 - (iii) 150 mm in any other case.

3.1.2.4 Subsoil drainage

Where a subsoil drainage system is installed to divert subsurface water away from the area beneath a building, the subsoil drain must—

- (a) be graded with a uniform fall of not less than 1:300; and
- (b) discharge into an external silt pit or sump with—
 - (i) the level of discharge from the silt pit or sump into an impervious drainage line not less than 50 mm below the invert level of the inlet (see Figure 3.1.2.4); and

- (ii) provision for cleaning and maintenance.



2.26

Location: Plumbing - All Areas

Finding: Plumbing work - Appears Defective

An instance of potentially defective plumbing work was identified. Whilst we are not licensed plumbers it appears that work which is not compliant with the relevant plumbing regulations and or the contract documents has occurred. The area of suspected non-compliance or poor workmanship should be referred to the builder and or the Building Surveyor or Certifier. The builder is required to provide a Certificate of Compliance when required by the relevant regulations.



Substandard Workmanship

3.27

Location: Internal Perimeters

Finding: Window - Binding / Jamming / Out Of Level
Binding, Jammed, Jamming and/or Out Of Level Windows is evident during standard operation.

Several windows throughout the property were jammed and difficult to operate at the time of the inspection. Windows provide ventilation to the adjoining area and should be at a fully operational level to ensure user comfort. Restricted function of the window may also pose as a potential safety hazard if required for emergency egress from the building.

Generally, factors such as general age of the building element and a lack of maintenance are the usual causes for this type of defect.

The windows may have several causes, ranging from minor defects as outlined above through to major structural issues, such as damage and/or subsidence (sinking) to subfloor structures.

Where window binding/jamming/out of level appears to indicate major structural issues, a registered builder and/or re-stumping company or concrete slab subsidence expert should be appointed to provide an estimate on the cost of rectification.

For minor causes of repair, replacement where window hardware or frame may be required, as well as minor repairs and cleaning a carpenter, registered builder, window specialist/ company or general handy person will be required to repair the affected windows.

Windows MUST function as a safety requirement and we HIGHLY RECOMMEND that you engage an appropriate professional as soon as possible to check all windows to the property.

ALL AREAS should be checked carefully for this defect and attached are a few PHOTO
EXAMPLES as a GUIDE.



Incomplete

4.28

Location: Bathroom

Finding: Bath Tub Loose

The bath tub is just sitting in location and loose, they may be the possibility it is not connected and requires further investigation.



4.29

Location: Internal-Unfinished/Defective Works

Finding: Internal - Unfinished/Defective Works - Additional Photos

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Again I stress that this property requires a separate report to specifically to detail all items that have not been complete as per the contract, which is very different from painting that's incomplete as an example.

The following items will need to be completed or repaired in accordance with the Domestic Building Contracts Act 1995.

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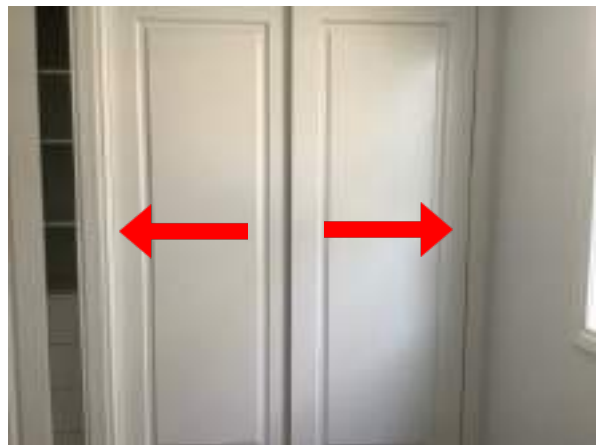
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Additional photos are provided for your general reference.

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Section E - Conclusion

Summary

IMPORTANT NOTE:

I have **ONLY** taken **LIMITED** photos of the defects and attached are **LIMITED** photos of the defects in **SOME AREAS ONLY**.

All **AREAS** to the entire property should be checked **CAREFULLY** to identify any further defects that are the same.

PAINT IN PARTICULAR WILL REQUIRE CAREFUL & DETAILED CHECKING & REPAIRS, FROM THE WALLS, TIMBER WINDOW TRIMS, SKIRTINGS, CEILINGS, ETC.

As at re-inspection stage all areas will be inspected for each particular defect.

The building appears to be in below average and an unfinished overall condition when compared to similar houses of its type and similar age (**NEW**) in the immediate area .

There are a number of defects listed in this report which will require attention to rectify and comply with Australian Standards.

In Addition

It is very important to note, that this house is not completed in all areas as the builder has gone into bankruptcy. So I am not inspecting a complete home. Generally we put incomplete works and works that are not completed to a tradesman's light finish, so this defect statement is a generalisation only, it is not to be used for specifics in the contract for the answers to note what has not been completed as per the contract, this is generally only more so defects, but for this report defects as not complete.

Again I stress that this property requires a separate report to specifically to detail all items that have not been complete as per the contract, which is very different from painting that's incomplete as an example.

Section F - Additional comments

There are no additional comments

Noted Items

For Your Information

5.30

Location:	Site Photos & Areas Of Interest.
Finding:	Site Photos. Additional photos are provided for your general reference.





5.31

Location: For Your Information

Finding: Advice Summary.

This inspection was performed in accordance with current "Australian Standards" & in accordance with current "Standards & Tolerances" as outlined by the Victorian Building Authority.

The inspection is a visual inspection of the property as presented by the builder.

This inspection performed does not in any way attempt to verify site dimensions, finished dimensions of the completed sections or parts of the building, levels, wall alignments, floor alignments, or ceiling alignments.

The inspection performed does not in any way attempt to verify contractual conditions.

This report contains a list of a number of defects that in our judgement require rectification.



5.32

Location: For Your Information

Finding: Special Notes.

Particulars of Our Inspection and Report

Our Inspection is a visual inspection of the overall finishes and the quality of those finishes presented by the Builder. This Report is a list of items that in our judgement do not reach an acceptable standard of quality, level of building practice, or have not been built in a proper workmanlike manner, in relation to the Building Code of Australia, (BCA's) the Building Regulations, any relevant Australian Standards and the acceptable standards and tolerances as set down by the Building Commission.

1. Purpose

The purpose of our inspection is to identify any defects in the finishes and the quality of those finishes presented by the builder at the stage of works nominated on the front of this report. This report contains a schedule of building defects that in the writer's judgement do not reach an acceptable standard of quality, level of building practice, or have not been built in a proper workmanlike manner relative to the Building Code of Australia, the relevant Australian Standards or the acceptable standards and tolerances as set down by the Building Control Commission.

2. Scope

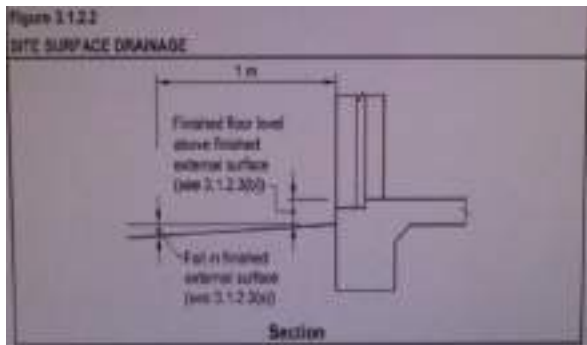
Our engagement is confined to that of a Building Consultant and not that of a Building Surveyor as defined in the Building Act, of 1993. We therefore have not checked and make no comment on the structural integrity of the building, nor have we checked the title boundaries, location of any easements, boundary setbacks, room dimensions, height limitations and or datum's, glazing, alpine and bush-fire code compliance, or any other requirements that is the responsibility of the Relevant Building Surveyor, unless otherwise specifically noted within this report.

Special Notes.

5.33

Location: Drainage - Exterior

Finding: Drainage - Owners Responsibility - Foundation and Site Drainage Maintenance
Foundation movement caused by activities not documented at the time of the contract any variations or which have been undertaken by the owner have been identified.
This may include paving landscaping planting trees and drainage works after the site is handed over. The builder is not responsible for foundation movements caused by the owners failure to maintain drainage systems after the site is handed over to the owner.



5.34

Location: Exterior Ground

Finding: Holes - Safety Hazard
The exterior ground around the perimeter of the home has various paint holes and is quite a safety hazard



Section G - Annexures to this report

There are no annexures to this report

Section H - Certification

Name: Les Camilleri

Date of issue: 5 Feb 2020