



## **New Construction-Handover Report (Luxury Town House)**

Inspection Date: 26 Mar 2020

Property Address: CBD Area



# Contents

---

|   |           |
|---|-----------|
| Inspection details                      | <b>3</b>  |
| General description of property         | <b>5</b>  |
| Accessibility                           | <b>7</b>  |
| Summary                                 | <b>8</b>  |
| Significant items                       | <b>9</b>  |
| Additional comments                     | <b>51</b> |
| Conclusion                              | <b>55</b> |
| Terms on which this report was prepared | <b>57</b> |

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

# Inspection details

---

Property Address: CBD Area

---

Date: 26 Mar 2020

---

Report Type: New Home Construction

---

## Client

Name:

---

Email Address:

---

Phone Number:

---

## Consultant

Name: Les Camilleri Ph: 0411807766

---

Email Address: les@masterpropertyinspections.com.au

---

Licence / Registration Number: A25361

---

Company Name: Master Property Inspections

---

Company Address: Victoria

---

Company Phone Number: 0411 807766

---

## General description of property

---

|                              |  |
|------------------------------|--|
| Building Type:               | Townhouse, Semidetached house  |
| Number of Storeys:           | Multi Storey   |
| Siting of the building:      | Not Applicable   |
| Gradient:                    | The land is relatively flat  |
| Site drainage:               | The site appears to be adequately drained  |
| Orientation of the property: | The facade of the building faces south<br>Note. For the purpose of this report the façade of the building contains the main entrance door. |
| Weather conditions:          | Dry  |

## Primary method of construction

|                                     |  |
|-------------------------------------|--|
| Main building – floor construction: | Slab on ground, Suspended slab   |
| Main building – wall construction:  | Finished with render, Internal gypsum plasterboard, External light weight walling system, Concrete Panels, External cladding, Metal Sheeting |
| Main building – roof construction:  | Not Applicable   |
| Other timber building elements:     | NOT APPLICABLE   |
| Other building elements:            | Balcony , Garage   |

## Special conditions or instructions

Special requirements, requests or instructions given by the client or the client's representative -

PAINT IN PARTICULAR WILL REQUIRE CAREFUL & DETAILED CHECKING & REPAIRS, FROM THE WALLS, TIMBER WINDOW TRIMS, SKIRTINGS, CEILINGS, ETC.

# Accessibility

---

## Areas Inspected

The inspection covered the Readily Accessible Areas of the property. Please note obstructions and limitations to accessible areas for inspection are to be expected in any inspection.

- Building interior
- Building exterior

The inspection does not include areas which are inaccessible due to obstructions, or where access cannot be gained due to unsafe conditions.

## Obstructions and Limitations

The following obstructions may conceal defects:

- Built-in cupboards
- Flooring
- Appliances and equipment
- Plaster Installation is a HIGH obstruction in this particular property.

Obstructions increase the risk of undetected defects, please see the overall risk rating for undetected defects.

## Inaccessible Areas

The following areas were inaccessible:

- Ceiling cavity

Any areas which are inaccessible at the time of inspection present a high risk for undetected building defects. The client is strongly advised to make arrangements to access inaccessible areas urgently.

# Summary

---

SUMMARY INFORMATION: The summary below is used to give a brief overview of observations made in each inspection area. The items listed in the summary are noted in detail under the applicable sub headings within the body of the report. The summary is NEVER to be relied upon as a comprehensive report and the client MUST read the entire report and not rely solely on this summary. If there is a discrepancy between the information provided in this summary and that contained within the body of the Report, the information in the body of the Report shall override this summary. (See definitions & information below the summary to help understand the report)

|                                     |                  |
|-------------------------------------|------------------|
| Evidence of safety hazards          | <b>Not Found</b> |
| Evidence of non compliant works     | <b>Found</b>     |
| Evidence of substandard workmanship | <b>Found</b>     |
| Evidence of incomplete works        | <b>Found</b>     |

## Additional specialist inspections

It is Strongly Recommended that the following Inspections and Reports be obtained prior to any decision to purchase the Property and/or before settlement. Obtaining these reports will better equip the purchaser to make an informed decision.

Not Applicable



# Significant items

---

## Safety Hazard

No evidence was found.

## Non Compliant

### Non Compliant 2.01

Location: Internal Perimeters

Finding: Doors (external) - Gaps and / or seals defective  
The photos attached are just a guide to the type of repairs required and are NOT all the defects related to this topic on the property.  
All interior rooms should be checked carefully to identify any further defects of the same type.

It was identified that external door/s are not fully sealed to all edges.

This requirement is inclusive of the garage to house entry door which must have full weather seals fitted to comply with the BCA part 3.12.3.3.

Seals required to the 3 sides of the door frame and a bottom seal to the door as well.





## Non Compliant 2.02

Location: Sealant / Caulking - All Areas

Finding: Sealant / Caulking - Wet Areas & Junctions.  
The photos attached are just a guide to the type of repairs required and are NOT all the defects related to this topic on the property.  
All areas to the entire property should be checked carefully to identify any further defects of the same type.

=====

Defective Caulking To Cabinetry, Bench Tops, Tile Junctions, Cabinetry/Plaster Junctions, Etc.

It was noted on inspection that sealant is missing, inadequate and/or not completed to a tradesmens like finish.

This may include floor edges, kitchen benches/splashbacks, vanities, cabinetry/plaster junctions, bath edges and shower floor/wall corners, etc.

Particular care should be considered to all wet area adjoining surface joints & junctions

This must be completed prior to handover.

-----

### GUIDE TO STANDARDS AND TOLERANCES 2015

#### 10.09 Sealing around benches and items installed in benches

Where required, junctions between bench tops and adjoining surfaces are defective if they are not sealed with a suitable flexible sealant of matching or agreed colour.

Seals around items such as sinks, hand basins or the like are defective if the joint leaks or they are not installed in accordance with the manufacturer's installation requirements.

-----

### DOMESTIC BUILDING CONTRACTS ACT 1995, Act No. 91/1995, Part 2 - Provisions that apply to all Domestic Building Contracts.

#### Part 2 - Provisions That Apply To All Domestic Building Contracts.

##### Division 1 - General warranties.

#### 8. Implied warranties concerning all domestic building work.

The following warranties about the work to be carried out under a domestic building contract are part of every domestic building contract -

(A) the builder warrants that the work will be carried out in a proper and workman like manner and in accordance with the plans and specifications set out in the contract.

(D) the builder warrants that the work will be carried out with reasonable care and skill and will be completed by the date (or within the period) specified by the contract.

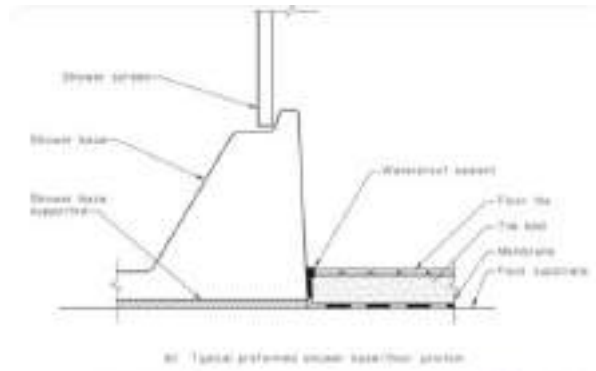
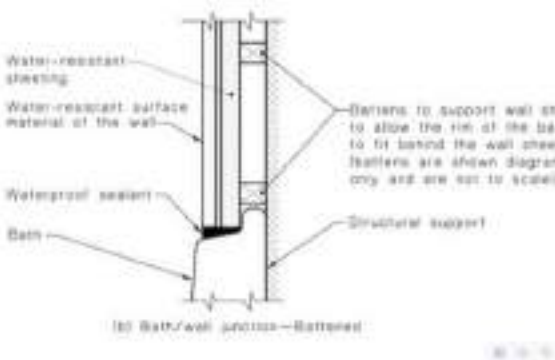


FIGURE 3.1 TYPICAL PREFORMED SHOWER BASE JUNC

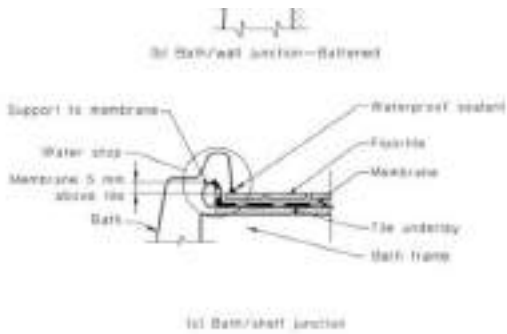
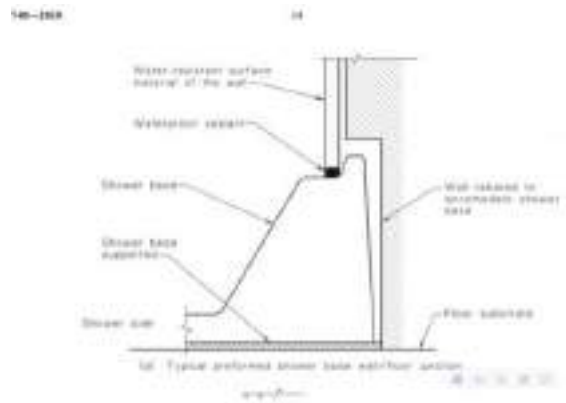
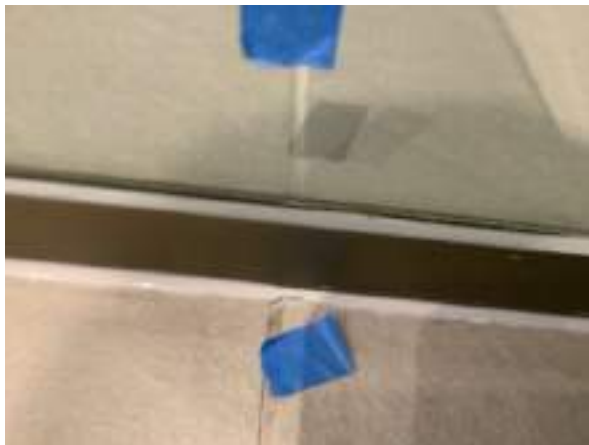


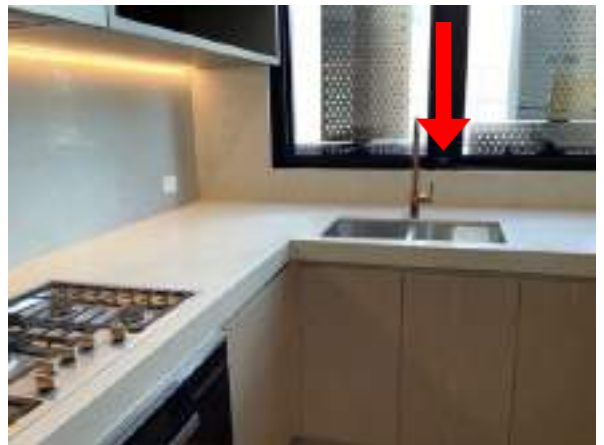
FIGURE 3.2 TYPICAL BATH JUNCTIONS















## Non Compliant 2.03

Location: Painting - All Areas

Finding: Painting - Defective (AS2311)

The paint defect photos in this report are just a generalisation and are not all the different types of defects to the paint on the walls, ceilings, architraves, skirtings, exterior timbers, exterior painted areas, garage and any other areas that require plaster & re-painting . These are just a small amount of the types of paint defects to this building and are NOT all the paint defects to all areas.

All AREAS to the entire property should be checked CAREFULLY to identify any further paint and plaster defects to the entire property, as these defects are in other areas of the property.

-----

I HIGHLY RECOMMEND that the painter inspects ALL rooms and ALL areas of the building carefully to all the timber work including the skirting, architraves and doors.

I HIGHLY RECOMMEND that the painter inspects ALL rooms and ALL areas of the building carefully to all the walls and ceilings as the paint does not meet the Australian Standards and Standards and Tolerances.

All plaster work and plaster patching along with all the sanding and preparation to all the areas for repair to the plaster and timber work will require to be completed first and then the paint work.

The paint work is inconsistent with orange peel in some areas and smooth in others or chips, scratches, runs and or imperfections.

With out treating this home with a detailed overall inspection by the painter to the sanding, patching to the timber work and plaster work to the walls and ceilings in areas required to building , the paint job will not be a level 4 finish.

-----

Areas were identified where the surface finish of the painting was found to be defective. This includes areas of minor blemishes, missing painting, over-painting, paint runs, sags , lack of paint and/or wrinkling of paint finish.

Paint irregularities will be apparent in different light conditions and are often hidden from view in low light conditions.

During New Construction Inspections, any irregularity in the paint finish surface is considered a detraction from the area's overall appearance, and is therefore considered to be a minor defect.

An allowance is made for critical light conditions for a Level 4 finish, which is the default level for plaster surfaces. Additional painting requirements have been marked up in ONLY some areas as a guide.

These finishes should be sanded back, filled, levelled and painted as applicable. The painting contractor should be appointed to perform the necessary works prior to final handover.

---

Guide To Standards and Tolerances 2015.

#### 12.02 Surface finish of paintwork

Paintwork is defective if the application has blemishes such as paint runs, paint sags, wrinkling, dust, bare or starved painted areas, colour variations, surface cracks, irregular and coarse brush marks, sanding marks, blistering, non-uniformity of gloss level and other irregularities in the surface that are visible from a normal viewing position.

Paintwork is defective if the application results in excessive over-painting of fittings, trims, skirtings, architraves, glazing and other finished edges.

---

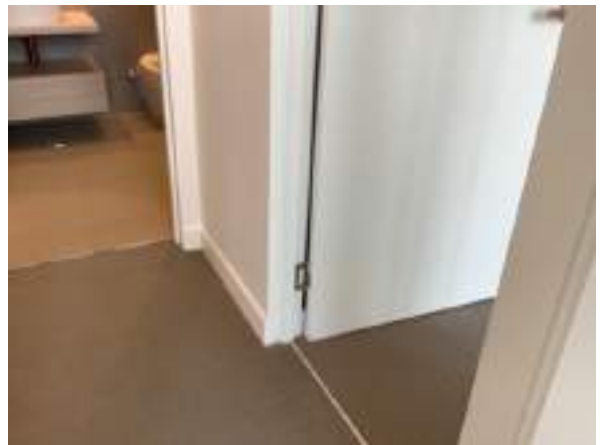
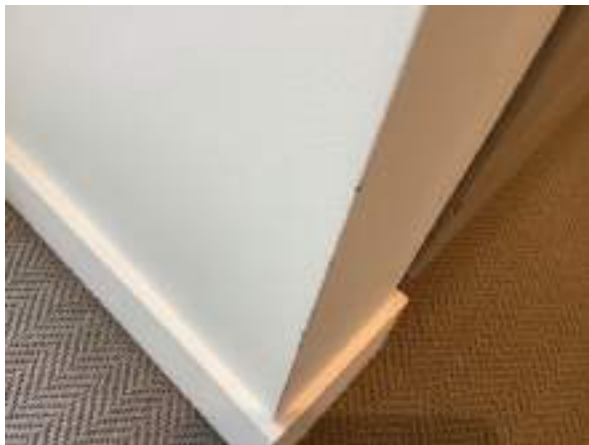
#### 13 VBA | GUIDE TO STANDARDS AND TOLERANCES 2015

Generally, variations in the surface colour, texture and finish of walls, ceilings, floors and roofs, and variations in glass and similar transparent materials are to be viewed where possible from a normal viewing position. A normal viewing position is looking at a distance of 1.5 m or greater (600 mm for appliances and fixtures) with the surface or material being illuminated by 'non-critical light' 1. Non-critical light means the light that strikes the surface is diffused and is not glancing or parallel to that surface.

Non-critical light means the light that strikes the surface is diffused and is not glancing or parallel to that surface.











## Non Compliant 2.04

Location: Painting - All Areas  
 Finding: Paint finish excessive over painting - defective

All AREAS to the entire property should be checked CAREFULLY to identify any further paint and plaster defects to the entire property, as these defects are in other areas of the property.

---

Areas were identified where the surface finish and junctions of the painting is defective. This includes areas of excessive over painting of fittings, trims, skirtings, architraves, windows, cornices, junctions of colour changes and / or other finished edges and junctions.

Any irregularity in the surface and junctions which is visible from a normal viewing position is considered a defect.

I HIGHLY RECOMMEND that the painter inspects ALL rooms and ALL areas of the building carefully to all the timber work, walls and ceilings as the paint junctions do not meet the Australian Standards and Standards and Tolerances.

With out treating this home with a detailed overall inspection by the painter to the timber work and plaster work to all junction in all areas to the building , the paint job will not be a level 4 finish.

---

Guide To Standards and Tolerances 2015.

### 12.02 Surface finish of paintwork

Paintwork is defective if the application has blemishes such as paint runs, paint sags, wrinkling, dust, bare or starved painted areas, colour variations, surface cracks, irregular and coarse brush marks, sanding marks, blistering, non-uniformity of gloss level and other irregularities in the surface that are visible from a normal viewing position.

Paintwork is defective if the application results in excessive over-painting of fittings, trims, skirtings, architraves, glazing and other finished edges.

---

### 13 VBA | GUIDE TO STANDARDS AND TOLERANCES 2015

Generally, variations in the surface colour, texture and finish of walls, ceilings, floors and roofs, and variations in glass and similar transparent materials are to be viewed where possible from a normal viewing position. A normal viewing position is looking at a distance of 1.5 m or greater (600 mm for appliances and fixtures) with the surface or material being illuminated by 'non-critical light'<sup>1</sup>. Non-critical light means the light that strikes the surface is diffused and is not glancing or parallel to that surface.

Non-critical light means the light that strikes the surface is diffused and is not glancing or parallel to that surface.





## Non Compliant 2.05

Location: Cleaning - All Areas

Finding: Cleaning Defective - Floors, Tiles, Glass, Bathroom fittings and fixtures, Etc  
I have ONLY taken LIMITED photos of this defect and attached are LIMITED photos of this defect in SOME AREAS ONLY.  
All AREAS to the entire property should be checked CAREFULLY to identify any further defects that are the same, as this defect is in other areas of the property.

-----  
-----

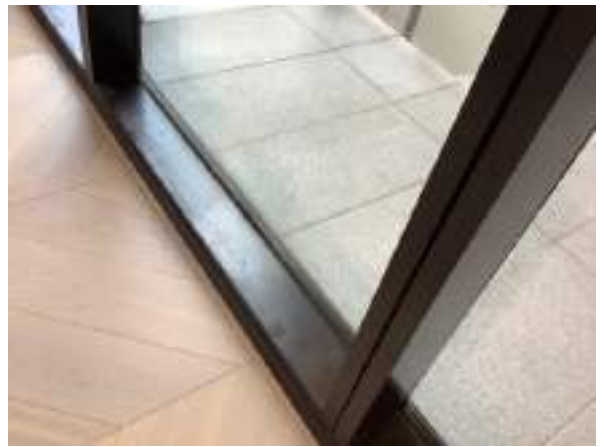
It was identified that the cleanliness and degree of finish for fixtures and fittings is substandard. Fittings and fixtures including sinks and bathtubs are required to be as new prior to handover. Evidence of damage marks scuffs and dirt need to be removed where present.

The Building Commission's, Guide to Standards and Tolerances clause 18.09 Cleaning, states- 'Owners are entitled to expect that the building site and works are clean and tidy on completion. Building works are defective where windows are not clean, floors are not swept, mopped or vacuumed as appropriate, tiles, sinks, basins, troughs, baths, etc. are not cleaned and shelving, drawers and cupboards ready for use.'

Once the cleaners have properly completed all of this work, all of the glazing, mirrors, cupboards, baths, shower bases, shower screens, floor coverings, walls, stairs, garage floor, fixtures and fitting etc, should all be thoroughly checked again for any scratches and damage which may have occurred, prior to handover proceeding.











## Non Compliant 2.06

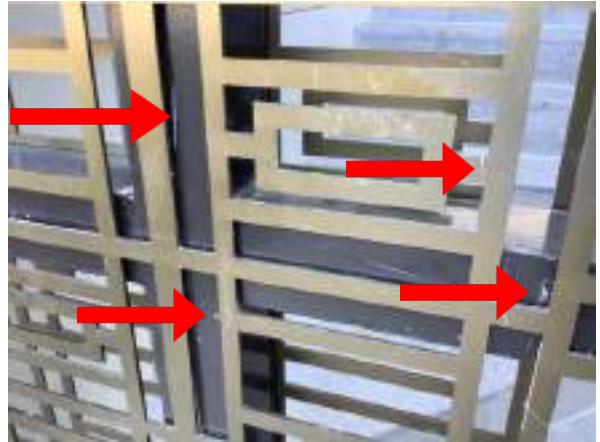
Location: Damages/ Faults - Internal

Finding: Damages/ Faults - Appliances / Fittings / Tiles, Etc  
All areas to the entire property should be checked carefully to identify any further defects of the same type.

It is identified that damage or faults affecting tiles, appliances and / or fittings supplied as part of the building contract have occurred. Where this is due to the builder's workmanship or damage occurring during construction it is considered a defect with respect to Standards and Tolerances - 18.02.







## Non Compliant 2.07

Location: Laundry

Finding: Cabinet doors - misaligned

It is observed that some of the cabinet doors are not aligned and / or have inconsistent gaps between the doors.

It is observed that some of the cabinet drawers are not aligned and / or have inconsistent gaps between the drawers.

The gaps around the door vary in their finished widths.

The Building Commissions, Guide to Standards and Tolerances clause 8.04 Internal Door Clearances, states- 'The installation of doors is defective if within three months of completion, clearances between door leaves and frames and between adjacent door leaves are not uniform and within 1mm. A clearance between door leaves or between a door leaf and the frame is defective if it is less than 2mm or greater than 5mm in width'

The gaps around these doors must be adjusted to comply with this tolerance.







## Non Compliant 2.08

Location: Internal-Unfinished/Defective Works

Finding: Internal - Unfinished/Defective Works - Additional Photos  
These items have been inspected in order from the top level working down towards the lower level.

The following items will need to be completed or repaired in accordance with the Domestic Building Contracts Act 1995.

We refer the builder to the implied warranties where the builder agreed to build the dwelling in a proper and workmanlike manner and with reasonable care and skill.

DOMESTIC BUILDING CONTRACTS ACT 1995, Act No. 91/1995, Part 2 - Provisions that apply to all Domestic Building Contracts.

Part 2 - Provisions That Apply To All Domestic Building Contracts.

Division 1 - General warranties.

8. Implied warranties concerning all domestic building work.

The following warranties about the work to be carried out under a domestic building contract are part of every domestic building contract -

(A) the builder warrants that the work will be carried out in a proper and workman like manner and in accordance with the plans and specifications set out in the contract.

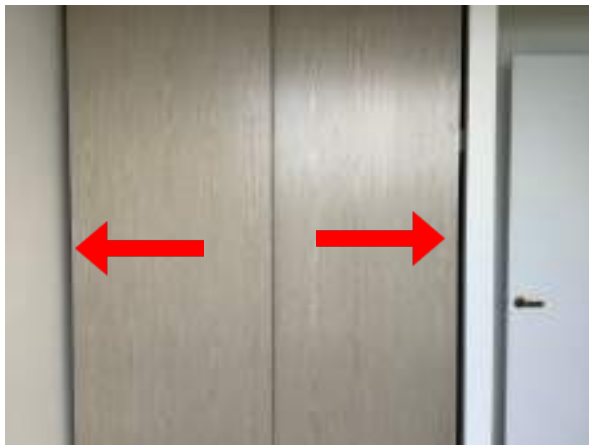
(D) the builder warrants that the work will be carried out with reasonable care and skill and will be completed by the date (or within the period) specified by the contract.

ALSO

Additional photos are provided for your general reference.

Arrows have been included to highlight areas of importance.

All these photos are added in to demonstrate DEFECTIVE / SUB STANDARD and/or INCOMPLETE WORKS and they are all required to be rectified as they are ALL not satisfactory for Handover as per the DOMESTIC BUILDING CONTRACT ACT 1995 as stated above.









## Non Compliant 2.09

Location: External-Unfinished/Defective Works

Finding: External - Unfinished/Defective Works - Additional Photos

The following items will need to be completed or repaired in accordance with the Domestic Building Contracts Act 1995.

We refer the builder to the implied warranties where the builder agreed to build the dwelling in a proper and workmanlike manner and with reasonable care and skill.

DOMESTIC BUILDING CONTRACTS ACT 1995, Act No. 91/1995, Part 2 - Provisions that apply to all Domestic Building Contracts.

Part 2 - Provisions That Apply To All Domestic Building Contracts.

Division 1 - General warranties.

8. Implied warranties concerning all domestic building work.

The following warranties about the work to be carried out under a domestic building contract are part of every domestic building contract -

(A) the builder warrants that the work will be carried out in a proper and workman like manner and in accordance with the plans and specifications set out in the contract.

(D) the builder warrants that the work will be carried out with reasonable care and skill and will be completed by the date (or within the period) specified by the contract.

ALSO

Additional photos are provided for your general reference.

Arrows have been included to highlight areas of importance.

All these photos are added in to demonstrate DEFECTIVE / SUB STANDARD and/or INCOMPLETE WORKS and they are all required to be rectified as they are ALL not satisfactory for Handover as per the DOMESTIC BUILDING CONTRACT ACT 1995 as stated above.







## Non Compliant 2.10

Location: Render - Exterior

Finding: Render marked - defective  
Marks caused by paint, etc due to the composition of the materials and / or any other blemish or damage which is obvious from a normal viewing position is considered a defect with reference to Standards and Tolerances.

Where the walls in this case the rendered walls are not consistent with Standards and Tolerances as a building must be presented as new and all products and finishes must be presented as new.

In this case whether its paint or any other products's to the render if the builder can not get the walls cleaned as new, the the walls will require re-painting or render to the totals areas so that no patch work will be noticeable.

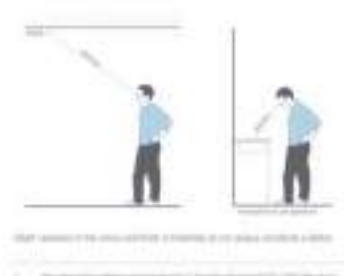
Generally, variations in the surface colour, texture and finish of walls, ceilings, floors and roofs, and variations in glass and similar transparent materials are to be viewed where possible from a normal viewing position. A normal viewing position is looking at a distance of 1.5 m or greater (600 mm for appliances and fixtures) with the surface or material being illuminated by 'non-critical light'<sup>1</sup>. Non-critical light means the light that strikes the surface is diffused and is not glancing or parallel to that surface.

DIAGRAM F NORMAL VIEWING POSITIONS 1500 mm ( Diagram Attached )

Floor Ceiling Walls - Slight variations in the colour and finish of materials do not always constitute a defect.

<sup>1</sup> Non-critical light is defined in appendix.B3 and D7 Australian Standard AS/NZS 2589. Refer also to CSIRO TR 90/1, Report No. L8 – 1992.

Viewing fixtures and appliances









### Non Compliant 2.11

Location: Garage

Finding: Concrete Floors Damaged / Chipped / Marked / Paint, Etc - Non Compliant  
Areas where the concrete floor has been damaged were identified. The damage consists of deep gouges chips and scrape and associated marks.  
An acceptable finish consistent with AS 2870 Slabs and Footing Construction requires the surface to be even and consistent in appearance.  
The concrete floors must be presented as new prior to handover.





## Non Compliant 2.12

Location: Exterior Entrance

Finding: Sealant/ Caulking - Colour Defective

The caulking and/or sealant in all interior and exterior locations to a property MUST match one of the junction colours, for example if the junction has white tiles and a grey bench top then the caulking must colour match one of the colours.

All areas of silicon and/or inappropriate colour matching must be taken out and re-done or painted over to match.



## Non Compliant 2.13

Location: Laundry And Exterior Entrance Gate

Finding: Door operation - binding and jamming - defective  
Binding and/or jamming of this door is evident during standard operation. This defect inhibits the functionality of the affected door as well as creating potential for secondary defects to associated building elements, such as damage to the floor covering.

A door that binds to flooring or to the associated door frame may have several causes, ranging from minor defects, such as poor installation of the door or deteriorated hinges, through to major structural issues, such as damage to subfloor structures.

Where the operation of the door is not as intended by the manufacturer it is considered defective with reference to Standards and Tolerances



## Substandard Workmanship

### Substandard Workmanship 3.14

Location: Internal-Unfinished/Defective Works

Finding: Kitchen Flooring-Defective Finish

The kitchen flooring as indicated with the arrows is not complete





### Substandard Workmanship 3.15

Location: Internal-Unfinished/Defective Works

Finding: Sliding doors – require rubber stoppers  
The sliding doors require rubber stoppers of some type, overtime this will damage the plaster and paint. This defect statement is for all areas with sliding doors.



## Substandard Workmanship 3.16

Location: Powder Room

Finding: Toilet roll holder - Loose

The toilet roll holder was found to be loose at the time of inspection. While not a major operational defect, function can deteriorate and cause further damage to the plaster/tiles if the problem is left unmanaged.

These items must be repaired prior to handover



Incomplete

## Incomplete 4.17

Location: Door Defects - All Areas

Finding: Door Stop - Missing.

The is no door stop to the opening door, leaving the door to swing and hit the wall, or cupboard which will damage the area the door hits and the handle.  
An appropriate door stop is required prior to handover .



## Additional comments

---

In order for you to get a high quality finish to your townhouse, we highly recommend a re-inspection once the builder has completed all repairs. So I highly recommend you working with the builder to rectify all repairs and if you would like a reinspection with another report please do not hesitate to let us know.

If the builder has any questions whatsoever please do not hesitate to let me know as I am always happy to assist.

## Noted Items

### For Your Information

#### For Your Information 5.18

Location: Site Photos & Areas Of Interest.  
Finding: Site Photos.  
Additional photos are provided for your general reference.





## For Your Information 5.19

Location: For Your Information

Finding: Advice Summary.

This inspection was performed in accordance with current "Australian Standards" & in accordance with current "Standards & Tolerances" as outlined by the Victorian Building Authority.

The inspection is a visual inspection of the property as presented by the builder.

This inspection performed does not in any way attempt to verify site dimensions, finished dimensions of the completed sections or parts of the building, levels, wall alignments, floor alignments, or ceiling alignments.

The inspection performed does not in any way attempt to verify contractual conditions.

This report contains a list of a number of defects that in our judgement require rectification.



## For Your Information 5.20

Location: For Your Information

Finding: Special Notes.

Particulars of Our Inspection and Report

Our Inspection is a visual inspection of the overall finishes and the quality of those finishes presented by the Builder. This Report is a list of items that in our judgement do not reach an acceptable standard of quality, level of building practice, or have not been built in a proper workmanlike manner, in relation to the Building Code of Australia, (BCA's) the Building Regulations, any relevant Australian Standards and the acceptable standards and tolerances as set down by the Building Commission.

### 1. Purpose

The purpose of our inspection is to identify any defects in the finishes and the quality of those finishes presented by the builder at the stage of works nominated on the front of this report. This report contains a schedule of building defects that in the writer's judgement do not reach an acceptable standard of quality, level of building practice, or have not been built in a proper workmanlike manner relative to the Building Code of Australia, the relevant Australian Standards or the acceptable standards and tolerances as set down by the Building Control Commission.

### 2. Scope

Our engagement is confined to that of a Building Consultant and not that of a Building Surveyor as defined in the Building Act, of 1993. We therefore have not checked and make no comment on the structural integrity of the building, nor have we checked the title boundaries, location of any easements, boundary setbacks, room dimensions, height limitations and or datum's, glazing, alpine and bush-fire code compliance, or any other requirements that is the responsibility of the Relevant Building Surveyor, unless otherwise specifically noted within this report.

Special Notes.

## Conclusion

---

### Building consultant's summary

#### **IMPORTANT NOTE:**

**I have ONLY taken LIMITED photos of the defects and attached are LIMITED photos of the defects in SOME AREAS ONLY.**

**All AREAS to the entire property should be checked CAREFULLY to identify any further defects that are the same.**

**PAINT IN PARTICULAR WILL REQUIRE CAREFUL & DETAILED CHECKING & REPAIRS, FROM THE WALLS, TIMBER WINDOW TRIMS, SKIRTINGS, CEILINGS, ETC.**

**As at re-inspection stage all areas will be inspected for each particular defect.**

---

**The building appears to be in above overall condition when compared to similar townhouses of its type and similar age ( NEW ) in the immediate area .**

**There are a number of defects listed in this report which will require attention to rectify and comply with Australian Standards.**



# Terms on which this report was prepared

---