



Dilapadation Report

Inspection Date: 4 Oct 2020

Property Address: Ascot vale area.



Contents

Inspection details	3
General description of property	4
Accessibility	6
Summary	7
Significant items	8
Additional comments	10
Conclusion	38
Terms on which this report was prepared	39

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

Inspection details

Property Address: Ascot vale area.

Date: 4 Oct 2020

Report Type: Dilapidation Inspection Report

Client

Name: Private

Email Address: private

Phone Number: Private

Consultant

Name: Les Camilleri

Email Address: les@masterpropertyinspections.com.au

Licence / Registration Number: A25361

Company Name: Master Property Inspections

Company Address: Essendon Victoria 3040

Company Phone Number: 03 93373884

General description of property

Building Type:	Detached house
Number of Storeys:	Multi Storey
Siting of the building:	Not Applicable
Gradient:	The land is steep
Site drainage:	Not Applicable
Orientation of the property:	The facade of the building faces east Note. For the purpose of this report the façade of the building contains the main entrance door.
Weather conditions:	Dry

Primary method of construction

Main building – floor construction:	Suspended timber framed, Slab on ground, Brick foundation walls, Floorboards
Main building – wall construction:	Timber framed, Brick veneer (timber framed)
Main building – roof construction:	Finished with roofing tiles, Not Applicable
Other timber building elements:	NOT APPLICABLE
Other building elements:	Balcony

Special conditions or instructions

Special requirements, requests or instructions given by the client or the client's representative -

There are no special conditions or instructions

Accessibility

Areas Inspected

The inspection covered the Readily Accessible Areas of the property.

- Detailed in the report
- Limited Exterior

Obstructions and Limitations

The following obstructions may conceal defects:

- Not Applicable

Obstructions increase the risk of undetected defects, please see the overall risk rating for undetected defects.

Inaccessible Areas

The following areas were inaccessible:

- Not Applicable

Any areas which are inaccessible at the time of inspection present a high risk for undetected building defects. The client is strongly advised to make arrangements to access inaccessible areas urgently.

Summary

SUMMARY INFORMATION: The summary below is used to give a brief overview of observations made in each inspection area. The items listed in the summary are noted in detail under the applicable sub headings within the body of the report. The summary is NEVER to be relied upon as a comprehensive report and the client MUST read the entire report and not rely solely on this summary. If there is a discrepancy between the information provided in this summary and that contained within the body of the Report, the information in the body of the Report shall override this summary. (See definitions & information below the summary to help understand the report)

Evidence of Safety Hazards	Found
Evidence of Major Defects	Not Found
Evidence of Minor Defects	Not Found

Additional specialist inspections

It is Strongly Recommended that the following Inspections and Reports be obtained prior to any decision to purchase the Property and/or before settlement. Obtaining these reports will better equip the purchaser to make an informed decision.

Not Applicable

Significant items

Safety Hazard

Safety Hazard 1.01

Location: Fence From Proposed Site
Finding: Fence - Suspected Asbestos-Suspected ACM Identified on Site.

Asbestos-Suspected ACM Identified on Site.

Whilst we are including in this report areas that we suspect is Asbestos, it is important to note that this report in relation to asbestos is a GUIDE ONLY and we do not guarantee that there are no other areas at this property that may contain Asbestos (ACM)

Reporting on Asbestos is outside the Scope of this Report. This suspected defect is highlighted as a caution only. We suspect, based on our experience in the building industry, that there is a higher risk of the identified building element containing asbestos (ACM).

As Asbestos Reporting is outside the scope of this report, we advise that you consider a separate Asbestos Inspection and Condition Audit, which can include the taking of samples for definitive confirmation of the presence of Asbestos.

In the interim, the client is advised to act with caution, especially when considering any damage to building materials general wear and tear renovations extensions demolition and general maintenance activities due to the suspected presence of Asbestos.

PLEASE NOTE : We are able to perform an Asbestos Inspection and Condition Audit, which can include the taking of samples to the laboratory for definitive confirmation of the presence of Asbestos.

This inspection as noted above is outside the scope of this inspection but at request of the client we can perform the necessary inspections and take the samples to give you a comprehensive and definitive inspection report.





Major Defect

No evidence was found.

Minor Defect

No evidence was found.

Additional comments

There are no additional comments

For your information

For your information 4.02

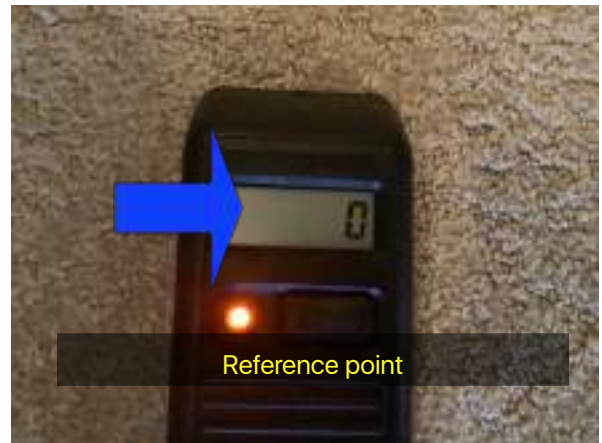
Location: The Site
Finding: Site Photos.
Site photos & Additional photos are provided for your general reference.



For your information 4.03

Location: Internal Floor Levels

Finding: Floor Levels - Upper Level
Attached are the floor levels in relation to a reference point to the upper level.



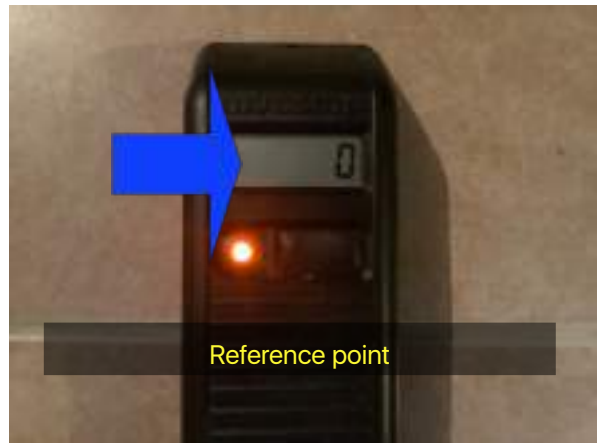




For your information 4.04

Location: Internal Floor Levels

Finding: Floor Levels - Below Storage
Attached are the floor levels in relation to a reference point to the lower level.





For your information 4.05

Location: Exterior North Side

Finding: For your information – site photos (back yard)
Photos of interest and the condition for this location at the time of the inspection.
In addition, various photos with a close up and/or arrows added to highlight the area of concern.











For your information 4.06

Location: Exterior North Side

Finding: Tile Paving
The tile paving is considerably compromised and drummy at the time of the inspection.





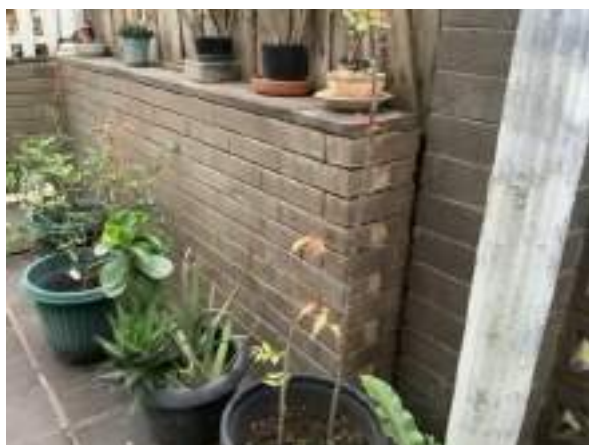


For your information 4.07

Location: Exterior North Side

Finding: Block Fencing
At the time of the inspection the block fencing has considerable movement.





For your information 4.08

Location: Exterior North Side

Finding: Pergola roofing area
Photos of the pergola roofing at the time of the inspection.





For your information 4.09

Location: Exterior North Side

Finding: Brickwork - Backyard (Behind Gate)
The photos will demonstrate that the area has movement in relation to the brickwork.







For your information 4.10

Location: Exterior North Side
Finding: Brickwork - In Front Of Gate
Brick wall photos for your information.







For your information 4.11

Location: Exterior North Side

Finding: Brick - Movement & Dilapidated (In Front Of Gate)
The photos will demonstrate that the brick fence is severely compromised and in a state of dilapidated which requires removal.







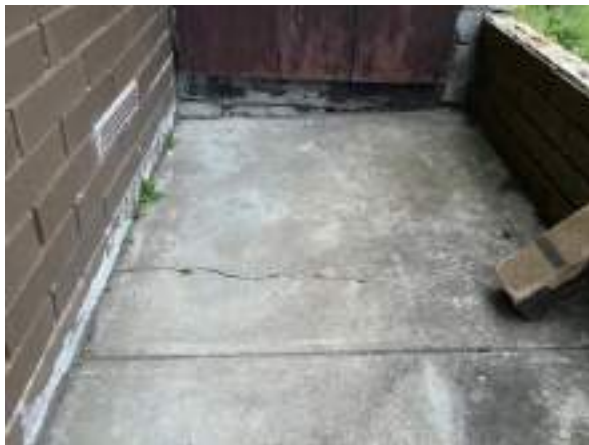


For your information 4.12

Location: Exterior North Side

Finding: Concrete Path
The photos will demonstrate that the concrete path is severely compromised and in a state of dilapidated.





For your information 4.13

Location: Fence From Proposed Site

Finding: Fencing from the proposed working site
Photos of the fencing, various areas of damage and no fencing.











For your information 4.14

Location: Lower Story Additional Site Photos
Finding: Lower story additional site photos
Additional photos are required for your information.



Conclusion

Building consultant's summary

In Summary the building, compared to others of similar age and construction is in the condition documented in this report.

ITEMS NOTED BELOW ARE FOR YOUR INFORMATION ON EXCLUSIONS & NOTES OF IMPORTANCE.

A/

**Provide an existing conditions report on the property noted in this report and in particular to note :
Movement, Water damage, Cracking defects or disrepair (both internal and external) existing at the time of the inspection.**

B/

Faults not apparent on visual inspection.

Minor faults (eg. Very fine hairline cracks, jamming windows, hidden items, roof items, etc).

C/

No special inspection or investigation of insect attack (eg. Borer, termite, etc).

D/ Frame Inspection.

Unless our engagement is a specific inspection at the frame stage, then the frame HAS NOT been inspected.

E/

This is a non invasive inspection only.

F/

NO ACCESS has been made to the exterior roof, roof void or roof space, or sub-floor.

Terms on which this report was prepared
